

ARTICLE VI

Off-Street Parking Standards

Sec. 16-6-10. Purpose.

This Article establishes parking standards for land uses in the City. The standards are intended to lessen congestion on the streets and to ensure an adequate supply of parking spaces within a reasonable distance of uses. (Ord. 03, 2002 §9-8-1; Ord. 2005-07 §1)

Sec. 16-6-20. Applicability.

The standards of this Article shall apply to all development, including development of new uses, expansion of existing uses and change of the use of land or structures. (Ord. 03, 2002 §9-8-2; Ord. 2005-07 §1)

Sec. 16-6-30. Standards for uses.

(a) Off-Street Parking Required. All uses shall be required to meet the standards set forth in Table 16-F, Off-Street Parking Standards by Use, except for uses in the Central Business District (C-2), for which there is no off-street parking required unless noted in Table 16-E.

(1) Multiple Uses. If two (2) or more principal uses occupy a single parcel or structure, the standard for off-street parking shall be the additive total for each principal use of the parcel or structure.

(2) Shared Parking. When it can be shown that the peak use period for required parking for one (1) land use will not overlap with the peak use period for required parking for another land use located on the same or adjoining site, the Administrator may reduce the required number of off-street parking spaces by up to twenty-five percent (25%) of the total required. Written approval by the property owner for use of property is required. The shared parking area may not be across a street unless the adjoining property is separated by a local or collector street. A change in land use will require evaluation by the Administrator and additional spaces may be required.

(3) Alternative Standards. Alternative off-street parking standards to those shown in Table 16-F below may be considered if the applicant demonstrates that such standards better reflect local conditions. The applicant must demonstrate provision for a sufficient number of spaces for the highest expected volume of users. Such determination may be based upon the following standards:

a. Capacity. The designed capacity of such facilities.

b. Plan. An overall plan for concentrations of parking with appropriate consideration of designed landscaping and relation to surroundings.

(b) Required Fractional Spaces. When any calculation of off-street parking results in a required fractional space, such fraction shall be rounded up if five-tenths (0.5) or greater.

(c) Location of Required Spaces. Required off-street parking spaces shall be located:

(1) On Same Lot. On the same lot as the structure the spaces are intended to serve;
or

(2) Within Common Parking Area. Within a parking area commonly owned by individuals who also own living or commercial units adjacent to the area which the parking spaces are intended to serve.

(d) Prohibited Uses of Required Spaces. Off-street parking spaces shall be available for the parking of operable automobiles of the residents, customers and employees of the use for which they are required. Prohibited uses of required spaces shall be as follows:

(1) Storage. The storage of inoperable vehicles or materials.

(2) Delivery Vehicles. The parking of delivery vehicles for the business.

(3) Vehicles for Sale. The display of vehicles for sale in commercial or industrial parking areas, except for the casual display of vehicles by owners who are employees or customers using the premises.

(4) Repair Work. Repair work that renders a vehicle inoperable for periods of more than twenty-four (24) hours in a parking area required for a commercial use.

(5) Snow Storage. Parking lot snow storage shall not be provided by using required spaces.

**TABLE 16-F
Off-Street Parking Standards by Use**

Use	Parking Standard
Residential Uses	
Accessory dwelling unit	1 space per unit
Duplex dwelling unit	1 space per unit
Mobile home	1 space per unit
Mobile home park	1 space per unit, plus 0.25 space per unit for guests
Multi-family dwelling unit	1 space per first unit, plus 1.5 spaces per additional unit
Rooming or boarding house	1 space per bed
Single-family dwelling unit	1 space per unit
Residential Business Uses	
Bed and breakfast inn	½ space per guest room, plus 1 space for owner/manager's unit
Day care, small and large	1 off-street parking space per nonresident employee, plus those spaces required for the dwelling unit. Large day care centers shall provide 1 designated off-street loading/unloading space per 4 children
Home business	1 space per nonresident employee, plus those spaces required for the dwelling unit
Home occupation	Those spaces required for the dwelling unit plus 1 space if there is a nonresident employee
Public and Institutional Uses	
Church, parish home and religious education building	1 space per every 6 seats in the main sanctuary, plus 1 space for the parish home
Clubs, recreation buildings and areas operated by and for their members	1 space per every 4 persons allowed within the maximum rated occupancy established by local fire, building or health codes
Community buildings; government administrative facilities, services and buildings	1 space per 400 s.f.
Group home	1 space per employee, plus 1 visitor space per 4 beds
Nursing home	1 space per employee, plus 1 visitor space per 3 beds
School	1 space per employee, plus 1 per 4 enrolled students
Hospital	1 space per 2 beds and 1 space per employee
Commercial Uses: Professional Offices	
Medical or dental office	1 space per 250 s.f.
Professional office - general	1 space per 400 s.f.
Commercial Uses: Personal Services	
Bank	1 space per 400 s.f.; if a drive-in facility is offered, a minimum of 3 queuing spaces shall also be provided at each station
Beauty/barber shop	1 space per chair
Funeral home and mortuary	1 space per 150 s.f. of parlor, chapel or assembly area, plus 1 space per employee and 1 designated space for each vehicle owned by the establishment
Personal service - general	1 space per 300 s.f.

Self-service Laundromat	1 space per 2 washing machines
Commercial Uses: Retail Sales Establishments	
Retail sales establishment	1 space per 250 s.f.
Commercial Uses: Eating and Drinking Establishments	
Eating and drinking establishment	1 space per 200 s.f.; if a drive-in facility is offered, a minimum of 3 queuing spaces shall also be provided at each station
Commercial Uses: Commercial Lodging	
Commercial lodging	1 space per guest room (in a suite, each bedroom shall constitute a separate guest room), plus 1 space per 150 s.f. of group assembly area (such as conference/meeting rooms), plus 1 space per 500 s.f. of accessory commercial space, plus 1 space for the manager/front desk person
Indoor Amusement and Entertainment Establishment	
Bowling alley	4 spaces per lane, plus 1 space per employee
Game room/video arcade	1 space per 250 s.f.
Pool or billiard hall	2 spaces per pool or billiard table
Recreation or athletic club	1 space per 250 s.f. of activity area, plus 1 space per employee
Skating rink	1 space per 250 s.f. of skating area
Theater	1 space per 3 seats
General Services	
Automobile repair	2 spaces per service bay (service bay is not a parking space), plus 1 space per employee
Automobile sales and rental	1 space per employee plus 1 space per 500 s.f.
Commercial storage of personal property in enclosed storage areas	1 space per employee, plus 2 guest spaces if there is an onsite office
General services - general	1 space per 500 s.f.
Mobile home and recreational vehicle sales and service	1 space per employee plus 1 space per 500 s.f.
Industrial Uses: Light Industrial	
Light industrial - general	1 space per 500 s.f.
Warehouse	1 space per 1,000 s.f. or 1 space per employee, whichever is greater, plus 1 space for each company vehicle stored on the premises
Industrial Uses: General Industrial	
General industrial	1 space per employee of the business plus 1 space per company vehicle, or as established by the Planning Commission if a conditional use review is required

Notes:

Where the use is identified as "general," it means all those uses in the commercial/industrial use schedule for that category which are not specifically listed in this parking table.

Existing structures in the CBD are not required to meet off-street parking requirements. New structures and additions shall meet off-street parking requirements.

Floor area shall be measured as gross floor area within a building, exclusive of mechanical rooms, closets or storage areas and kitchen spaces, unless specifically stated otherwise.

Where parking requirement is on a per-employee basis, employment shall reflect the maximum number on any single shift.

For uses not listed, parking requirements shall be determined by the Administrator based upon the parking requirements of a land use in this Table that is most similar to the use not identified in this Table, or using other professional sources.

(Ord. 03, 2002 §9-8-3; Ord. 01, 2005 §1; Ord. 2005-07 §1)

Sec. 16-6-40. Design standards for parking areas.

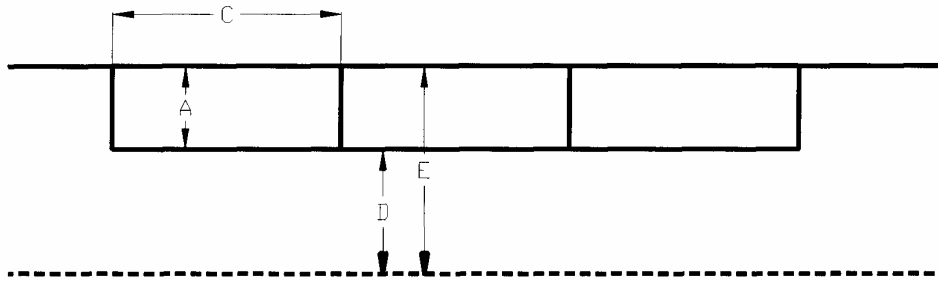
(a) **Parking Surface.** Off-street parking areas, aisles and access drives in the Commercial Business District (C-2), Commercial District (C-1) and all residential zone districts shall be paved and striped, except for parking areas and access drives for single-family and duplex dwelling units or when the parking requirement is for five (5) or less spaces, which may be gravel and need not be paved. Unpaved parking shall provide some form of curb stop to identify each parking space. Paved parking areas shall be paved with concrete, paving blocks, asphalt or other durable all-weather surface. The surface shall be graded and drained to permit drainage of surface water without damage to public or private land or improvements.

(b) **Dimensions.** The minimum dimensions for parking spaces, rows and aisles are provided in Table 16-G, Parking Design Dimensions.

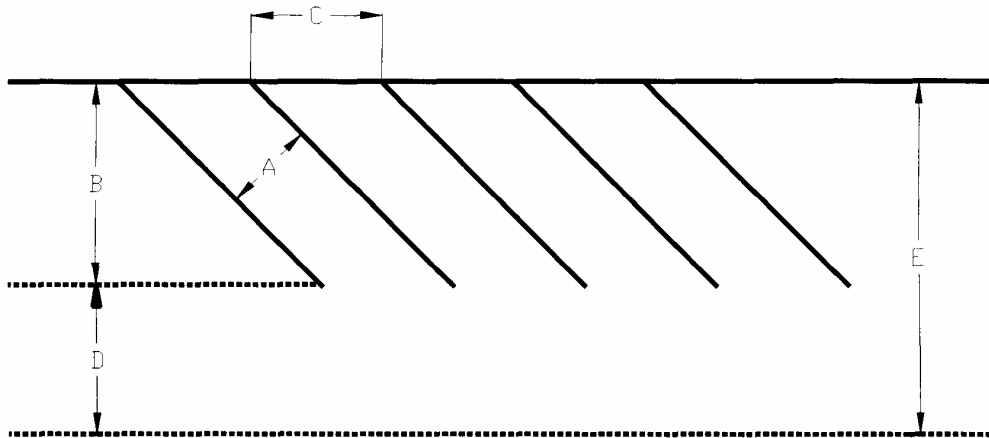
**TABLE 16-G
Parking Design Dimensions**

Angle	Stall Width "A"	Minimum Depth "B"	Curb Length "C"	Aisle Width "D"	Total Depth "E"
Parallel	8.0'	NA	22.0'	12.0'	20.0'
30°	*8.0'	16.0'	16.0'	11.0'	27.0'
	8.5'	16.4'	17.0'	11.0'	27.4'
	9.0'	16.8'	18.0'	11.0'	27.8'
	9.5'	17.3'	19.0'	11.0'	28.3'
45°	*8.0'	18.4'	11.3'	14.0'	32.4'
	8.5'	18.7'	12.0'	13.5'	32.2'
	9.0'	19.1'	12.7'	13.0'	32.1'
	9.5'	19.4'	13.4'	13.0'	32.4'
60°	*8.0'	19.7'	9.2'	19.0'	38.7'
	8.5'	20.0'	9.8'	18.5'	38.5'
	9.0'	20.3'	10.4'	18.0'	38.3'
	9.5'	20.5'	11.0'	18.0'	38.5'
90°	*8.0'	20.0'	8.0'	26.0'	44.0'
	8.5'	20.0'	8.5'	25.0'	43.0'
	9.0'	20.0'	9.0'	24.0'	42.0'
	9.5'	20.0'	9.5'	24.0'	42.0'

Parallel Parking Space Dimensions



Angle Parking Space Dimensions



Notes:

* Compact car. Standards for providing compact car spaces are located in Subsection 16-6-40(f), Compact Car Spaces.

Existing nonconforming off-street parking shall be allowed to continue and be credited towards required off-street parking when the spaces are located within the subject property and the existing spaces meet the minimum standards of Table 16-G, Parking Design Dimensions. Modification of the existing parking shall require compliance with the current Parking Design Standards.

(c) Backing on to Roads Prohibited. All parking areas shall be designed so that vehicles exiting from a parking space shall not back on to the right-of-way of public streets, but may back on to the right-of-way of alleys adjacent to the property. Vehicles exiting from a parking space for a single-family or duplex dwelling unit may back onto a residential street.

(d) Tandem Parking. Tandem parking (one [1] vehicle parking directly behind another) shall not be permitted and shall not be credited toward meeting any off-street parking requirement for this Article, except for single-family or duplex residential uses; provided that the tandem spaces are assigned to the same dwelling unit.

(e) Unobstructed Access. Each required parking space shall have unobstructed access from a road or alley, or from an aisle or drive connecting with a road or alley, except for approved residential tandem parking.

(f) Compact Car Spaces. In parking areas containing more than ten (10) spaces, up to twenty percent (20%) of the spaces over and above the first ten (10) may be designed for compact cars; provided that any such spaces are designated for exclusive use by compact cars with painted identification. The standard colors shall be white on green.

(g) Parking for Handicapped. Any use requiring handicapped access, as defined in the adopted building code, shall provide spaces for use only by physically handicapped persons as outlined in the adopted building code.

(1) Width. Parking spaces for the physically handicapped shall have a minimum stall width of twelve (12) feet unless the space is parallel to a pedestrian walk, in which case the width may be a minimum of eight and one-half (8½) feet.

(2) Signage. All spaces designated as being for the handicapped shall have painted identification. The standard colors shall be white on blue.

(h) Parking Area Landscaping and Illumination. Landscaping and illumination for parking areas shall comply with the standards of Article VII below.

(i) Drainage. Development Standards for drainage retention are outlined in Section 16-9-80 of this Chapter. (Ord. 03, 2002 §9-8-4; Ord. 01, 2005 §1; Ord. 2005-07 §1)