



AGENDA
CITY OF SALIDA PLANNING COMMISSION

MEETING DATE: Monday, September 23, 2019
MEETING TIME: 6:00 p.m.
MEETING LOCATION: City Council Chambers, 448 East First Street, Salida, CO

AGENDA SECTION:

- I. CALL TO ORDER BY CHAIRMAN – 6:00 p.m.**
- II. ROLL CALL**
- III. APPROVAL OF THE MINUTES – August 13, 2019 and August 26, 2019**
- IV. UNSCHEDULED CITIZENS**
- V. AMENDMENT(S) TO AGENDA**
- VI. PUBLIC HEARINGS**

- 1. Major Impact Review – River Ridge Major Subdivision** - The request is for Major Impact Review of a Major Subdivision for River Ridge Subdivision consisting of 41 lots on 9.06 acres located on Scott Street, 500 feet north of CR 105 (Old Stage Road). The property is zoned R-3 and R-4.

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|--------------------------------|--------------------------|
| A. Open Public Hearing | E. Public Input |
| B. Proof of Publication | F. Close Public Hearing |
| C. Staff Review of Application | G. Commission Discussion |
| D. Applicant’s Presentation | H. Commission Decision |

- VII. NEW BUSINESS:**
- VIII. COMMISSIONERS COMMENTS:**
- IX. ADJOURN REGULAR MEETING AND OPEN PLANNING COMMISSION WORK SESSION**

MEETING DATE: Tuesday, August 13, 2019
MEETING TIME: 6:00 PM
MEETING LOCATION: City Council Chambers, 448 E. First Street, Suite 190, Salida, CO

Present: Bomer, Denning, Mendelson, Kriebel, Farrell, Follet, Judd, Jefferson, Van Nimwegen, Almquist

Absent: Eiler

AGENDA SECTION:

I. CALL TO ORDER BY Follet: - 6:01 PM

II. ROLL CALL:

III. APPROVAL OF THE MINUTES – June 24, 2019- Kriebel made a motion to approve the minutes as written. **Bomer** seconded the motion. All were in favor and the motion carried.

IV. UNSCHEDULED CITIZENS – None

V. AMENDMENTS TO AGENDA - None

VI. PUBLIC HEARINGS –

1. Future 50 Project Report and Action Items - The request is for Planning Commission recommendation to the City Council for the adoption of the Future-50 project report and action items.

A. Staff Review of proposal – Van Nimwegen gave an overview of the Future-50 project report and action items. He explained that we had several public meetings and received a lot of public input over the past year which was integrated into the plan. **Van Nimwegen** stated that the plan will be a guiding document for future development and is recommending the Commission make a recommendation of approval that the Council adopt the plan.

B. Public Input- Richard Leavitt, 142 W. Hwy 50 Property owner voiced his concern about a potential traffic light at the intersection of Highway 50 and G Street as he owns the building on that corner. He is also concerned with the possibility of gateway improvements being installed in front of his building. **Jim Miller**, who was on the citizen leadership committee for the project spoke positively about the process, the report and action items.

C. Commission Discussion –

- **Judd** stated that being consistent with Chaffee County codes is important especially in areas like Highway 50 where there is still some properties on the south side that have not annexed into the City. **Judd** asked about the Highway 50/291 intersection. He explained that residential development along the South Arkansas River on the south side of Highway 50 makes sense.
- **Mendelson** said that he would like to see landscaping or some type of beautification done on the Highway.
- **Ferrell** stated that the intersection of G and 16th Streets is a problem and it should be included in the intersection study.

- **Kriebel** was concerned with the continuation of the sidewalk project on east Highway 50.
- **Bomer** stated that when CDOT does the intersection study it be done during peak season and they should listen to concerns from surrounding businesses.

D. Commission Recommendation - A motion was made by Bomer to recommend the City Council adopt the “Future 50: Re-Vision Rainbow Boulevard” as a guiding document for decisions regarding infrastructure design and capital investments; Comprehensive Plan and Land Use Code changes and strengthening the economic development potential of the corridor.

Kriebel seconded motion. All were in favor and the motion carried.

2. **Amendments to Chapter 16** - The proposed request is for amendments to Definitions, Table 16-D Schedule of Uses and Section 16-4-190(n) Temporary Commercial Uses and Activities within the Land Use Code.

A. Open Public Hearing – 6:49 pm

B. Proof of Publication

C. Staff Review of proposal – Almquist gave an overview of the proposed changes to the Land Use Code regarding temporary commercial activities. He explained that the proposed amendments will do the following:

1. Separate standards for temporary commercial activities/vendors into three sections: Vendor Permits (Public Property); Vendor Permits (Private Property); and Multiple Vendor Event Permits.
2. Adjust the durations of permits to better match the typical durations of such activities.
3. Clarify the specific locations where vending is allowed on public property.
4. Make the review processes for vending on all permissible private properties more consistent and less subjective while providing clear approval standards.
5. Clarify and make more inclusive the definition of “Temporary Commercial Activities”.
6. Eliminate inconsistencies between Chapters 6 and 16 by making a clear distinction between “Temporary Commercial Activities” and vending.

D. Public Input- Jim Miller, 845 Oak Street, explained that he feels that by allowing food trucks it takes away from the brick and mortar restaurant establishments. He thinks there should be a cap on the number of food trucks allowed to balance the concerns of restaurant owners.

E. Close Public Hearing- 7:12 pm

F. Commission Discussion – issues included:

- The requirement to remove the vending device after 48 hours.
- Public notice requirement removed for temporary commercial activities located on private property in the C-2 zone district.
- Limiting the number of commercial activities on private property.
- Hours of operation requirement.

F. Commission Recommendation - A motion was made by **Judd** to recommend the City Council approve the amendments to the Land Use Code relating to Temporary Commercial Activities with the following suggestions;

Remove Section 6-2-20(2)(vi)

Make an amendment to Section 6-2-20(2) Revocation or Suspension - adding the following fourth requirement,

(iv) Failure to operate a business as defined in the application.

Bomer made a friendly amendment to add a public notice requirement. The amendment was not accepted.

Mendelson seconded motion.

Denning, Kriebel and **Bomer** were opposed to the recommendation. With a vote of four to three the motion carried.

VII. NEW BUSINESS: **Van Nimwegen** reminded the Commission that there will be a Planning Commission/ City Council joint work session on August 19th.

VIII. ADJOURN: With no further business to come before the Commission, the meeting adjourned at 8:23 p.m.

MEETING DATE: Monday, August 26, 2019
MEETING TIME: 6:00 PM
MEETING LOCATION: City Council Chambers, 448 E. First Street, Suite 190, Salida, CO

Present: Follet, Bomer, Judd, Denning Farrell, Van Nimwegen, Jefferson, Almquist

Absent: Kriebel, Eiler, Mendelson,

AGENDA SECTION:

I. CALL TO ORDER BY Follet: - 6:00 PM

II. ROLL CALL:

III. UNSCHEDULED CITIZENS – None

IV. AMENDMENTS TO AGENDA - None

V. UPDATES:

VI. PUBLIC HEARINGS –

1. **D & W Minor Subdivision – Limited Impact Review** - The request is to subdivide one (1) parcel known as 77 Illinois Avenue and 620 Teller Street, into three (3) individual lots.

A. Open Public hearing: - 5:59 PM

B. Staff Review of Application. Jefferson gave an overview of the application and stated that staff supports the subdivision request. Staff recommends approval of the limited impact review application with 9 conditions. Follett questioned condition #2 regarding the requirement to install sidewalks, curb and gutter prior to issuance of building permits. He suggested that the condition be amended to require the installation of sidewalks prior to issuance of certificate of occupancy.

C. Applicant's Presentation: Jeff Denison was available to answer questions.

D. Public Input- Caroline Puntteney, 605 Teller Street, spoke in favor of the subdivision request. Corbin, questioned the cost to the City for the subdivision request. He asked why the applicant wasn't able to use the existing well for the residence.

E. Closed Public Hearing - 6:17 PM

F. Commission Discussion –Follet opened the Commission discussion. Judd asked why this lot is currently one parcel because usually there are several 25' wide lots. Jefferson explained that probably years ago a prior owner went through a lot line elimination.

G. Commission Action - A motion was made by **Judd** to approve the limited impact review application with the 9 recommended conditions and amending condition #2 to read;

#2 - A plat note be added with the following language; Curb, gutter and sidewalks shall be installed along the entire frontage of the property prior to issuance of any certificate of occupancy for new structures on any lot. Or the Public Works Director may determine that payment for fee in lieu of the curb, gutter and sidewalk will be required.

Public Works Director shall review and approve the engineered design drawings prior to installation of the curb, gutter and sidewalk.

Bomer seconded the motion. All were in favor and the motion was carried.

VIII. UNFINISHED BUSINESS-

IX. NEW BUSINESS-

X. COMMISSIONER'S COMMENTS-

XI. ADJOURN: With no further business to come before the Commission, the meeting adjourned at **6:22 pm.**



PLANNING COMMISSION STAFF REPORT

MEETING DATE: September 23, 2019

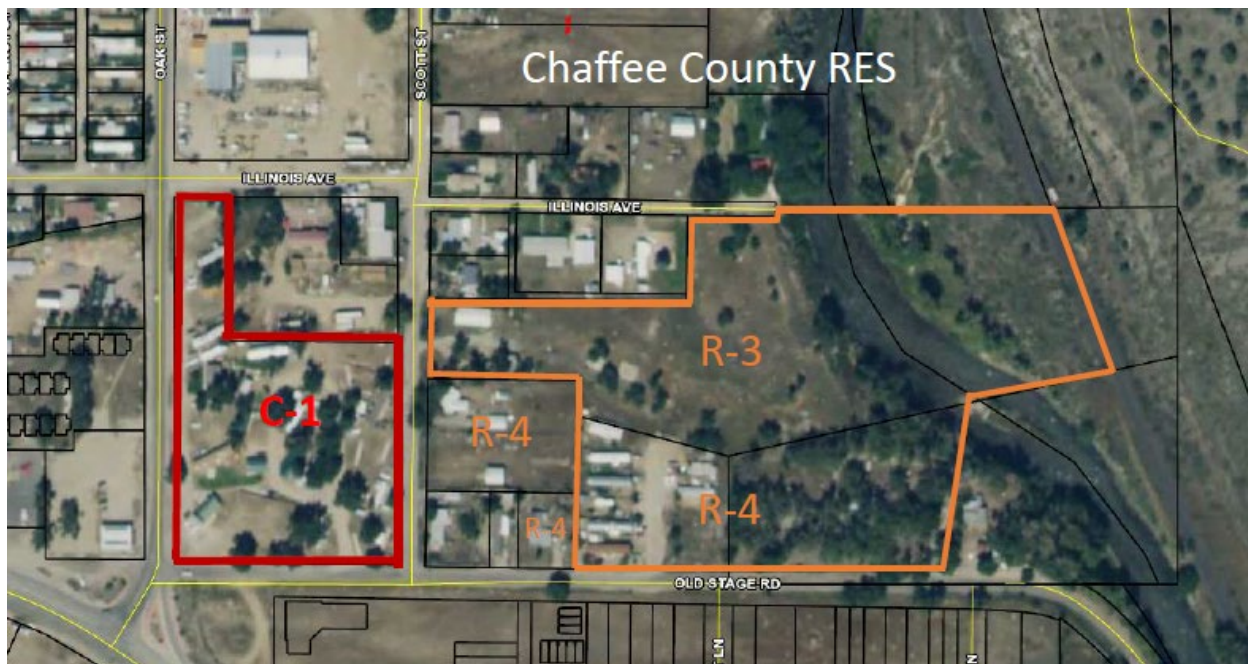
AGENDA ITEM TITLE: 1. Recommendation on River Ridge Major Subdivision – Major Impact Review

AGENDA SECTION: Public Hearing

REQUEST / BACKGROUND:

The applicant is requesting the Planning Commission recommend the City Council approve the River Ridge Major Subdivision for an 11.17 acre parcel generally located between Old Stage Road (CR 105) north to Illinois Avenue; and the Arkansas River west to Scott Street. The address is 786 Scott Street. The proposed subdivision consists of 41 lots. The site is zoned High Density Residential (R-3) and Manufactured Housing Residential District (R-4).

Applicants: Arkansas Living, LLC as represented by Joe Deluca of Crabtree Group.



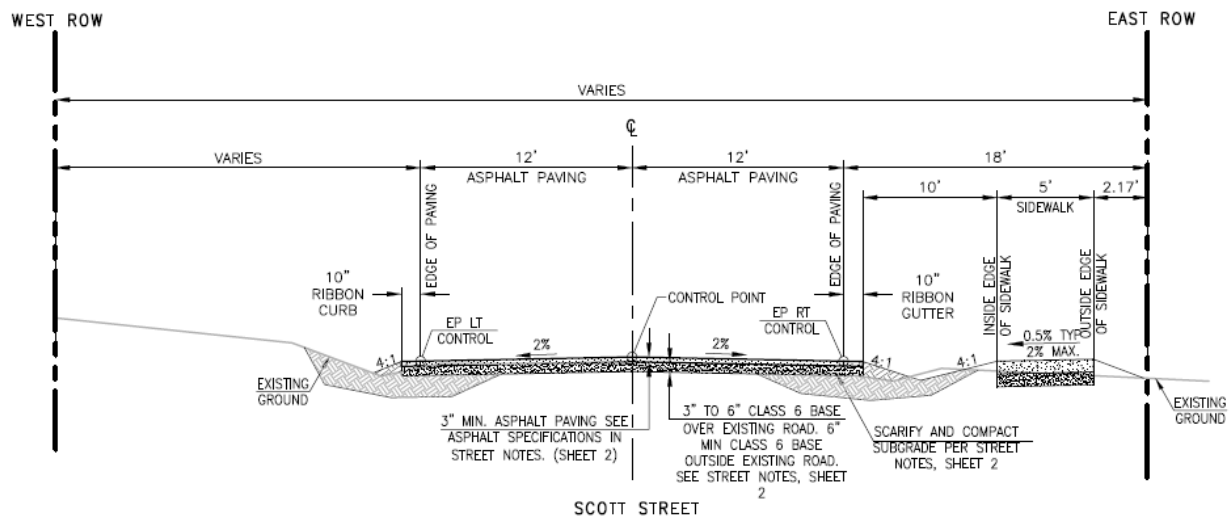
The north half of the site was the subject of recent annexation and zoning actions. The applicant recently acquired two parcels south of the original site which are zoned R-4. A Conceptual Review Meeting with the Planning Commission and City Council occurred on June 3, 2019.

The 41 lots range in size from 11,000 square feet to 4,570. There should be a diversity of housing styles from duplexes, single-residences and possibly triplexes. Key aspects of the neighborhood now include a private park in the center, public access to the river and many of the lots are now accessed by alleys.

MAJOR SUBDIVISION:

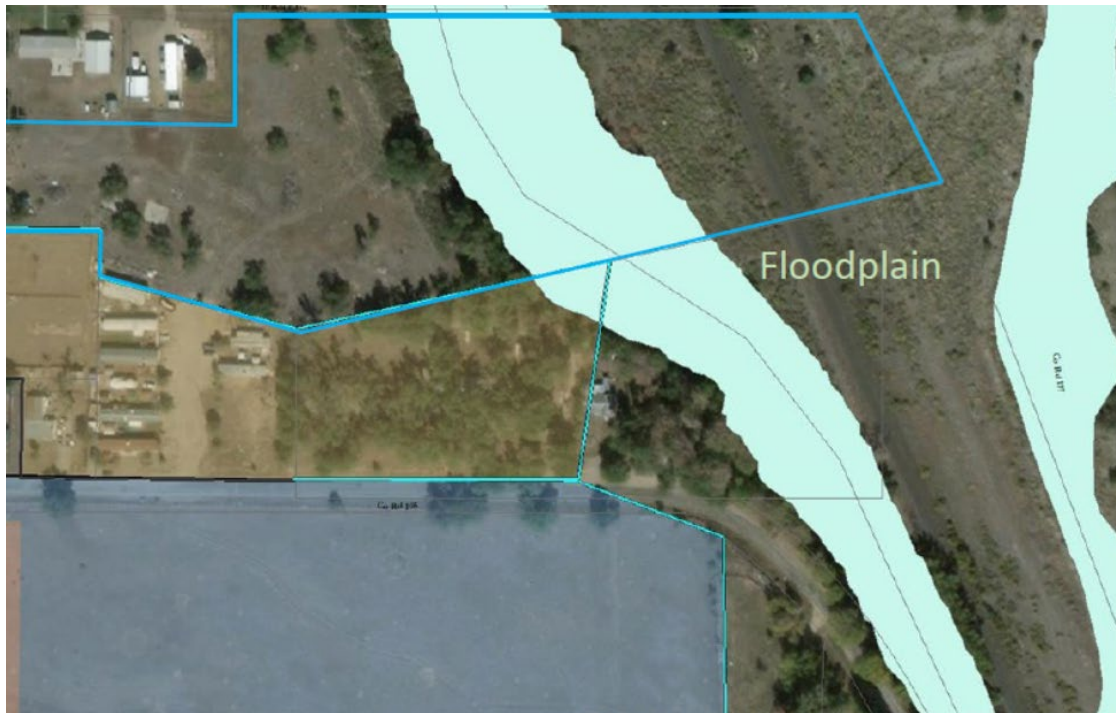
A major subdivision requires a recommendation from the Planning Commission and final approval by the City Council. The proposed subdivision must comply with the following standards:

1. Comprehensive Plan. The proposed subdivision is consistent with the Comprehensive Plan that promotes diverse residential housing styles and access to trails and open space.
2. Zone District Standards. The proposed subdivision and ultimate development of the lots will comply with the R-3 and R-4 zoning and other applicable standards of the Land Use and Development Code.
3. Improvements. Besides the new interior streets, the applicant will be improving the north side of Old Stage Road. The annexation agreement for the project allows the option of providing funds for the construction of Scott Street adjacent to the subdivision, versus construction this small segment. Staff is recommending this decision be made to staff after seeing how the existing roadway holds up to heavy construction equipment traffic that will occur why the project is being constructed.



4. Natural Features. The site is relatively flat except for the area directly adjacent to the Arkansas River. The buildable area of the subdivision is approximately 25 feet above the water level of the Arkansas River. “Natural features and native vegetation shall be preserved whenever possible. Tree masses and individual trees of six-inch caliper or greater shall be preserved.”

5. Floodplains. A portion of the east side of the site adjacent to the Arkansas River is within the 100 year floodplain. The Floodplain Administrator is recommending conditions on any development activities that may occur within the Special Flood Hazard Area (**Attachment 6**).



6. Noise Reduction. “Where a subdivision borders on or contains a highway right-of-way, the City shall require adequate provisions for reduction of noise. A parallel street, landscaping, screening, easement, greater lot depth, increased rear yard setbacks and fencing are potentially appropriate solutions, among others.” River Ridge is not adjacent to a highway.

7. Future Streets. The applicant is proposing local streets within the development with 34 feet of roadway versus our standard of a 38 foot roadway. Section 16-8-20 (f) of the Land Use Code allows an applicant to make their case for a different road standard. The applicant has presented their case for the roadway reduction (**Attachment 10**). **Attachment 7** shows the differences between the two roadways. After giving the applicant’s request consideration, we recommend the roadway be reduced to 36 feet wide, a reduction of two feet from the standard.

8. Parks, Trails and Open Space. The developer has provided public access to the west side of the Arkansas River and a trail easement along the east side of the river. This was deemed “extraordinary” by the Planning Commission and therefore the open space requirements have been met. A private quarter acre park is provided in the center of the project.

9. Common Recreation Facilities. “Where a development is proposed to contain common recreation facilities, such facilities shall be located within the development so as to be easily accessible to the residents and to least interfere with neighboring developments.” The private park will not impact adjoining properties.

10. Lots and Blocks. “The size, shape and orientation of lots shall be appropriate to the design and location of the proposed subdivision and to the type of development contemplated. Where

appropriate, lots shall be laid out to respect the existing City pattern. Blocks generally shall not be less than three hundred (300) feet nor more than one thousand two hundred (1,200) feet in length.” The applicant has created the best layout considering the angle of the adjacent river and desire to connect with existing Treat Lane.

11. Architecture. The design of the residential buildings will have to meet the design standards stated in the code to prevent monotonous streetscapes. The minimum standard is the same building front elevation cannot be repeated more than every fifth lot or directly across the street. The intent is the homes will be sold individually for custom homes so monotony should not be an issue.
12. Codes. The subdivision will comply with all applicable City building, fire and safety codes for the proposed development.
13. Inclusionary Housing. The developer has indicated they will meet the requirements through the collection of a fee in lieu with each building permit. For a major subdivision the fee is the lessor of \$15,748 or \$7.87 per habitable square feet of the principal unit.

RESPONSE FROM REFERRAL DEPARTMENTS AND AGENCIES:

- Salida Fire Department: Kathy Rohrich, Fire Inspector, reviewed the subdivision and is requiring a total of four hydrants. They are to be located at the intersections of River Ridge and Treat Lane at CR105; River Ridge and Scott Street and Treat Lane and Illinois Avenue.
- Salida Police Department: Lieutenant Russ Johnson stated we should consider yield signs be placed at the intersection of River Ridge Lane and Treat Lane.
- Chaffee County Development Services Department: No response.
- Salida Public Works Department: Public Works Director David Lady has been involved in the development of the plans for the subdivision. He is recommending a number of changes to the plat and plans as outlined in his September 17, 2019 memo (**Attachment 8**).
- Salida Finance Department: According to Renee Thonhoff, Senior Accountant, there are a number of existing sewer and water taps devoted to the property and additional taps will be required.
- Xcel Energy: Sterling Waugh, Energy Planner stated a 10 foot wide utility easement is required, however 15 feet is preferred if the easement includes other utilities, including natural gas.
- Floodplain Administrator: Mark Rocheleau, PE is employed by JVA Consulting Engineers and is the city’s Flood Plain Administrator. He has reviewed the River Ridge and provided a memo stating all of the requirements for development within the flood plain (**Attachment 6**).

- Salida School District R32J: Shelia Moore, Business Manager for the District stated that fees in lieu of school dedications should be collected with this subdivision. Per our agreement with Chaffee County and the District, the fees have recently been increased to \$444.66 per unit.

STAFF RECOMMENDATION:

Staff recommends the Planning Commission recommend the Council approve the application, subject to the conditions listed below.

RECOMMENDED MOTIONS:

“I make a motion to recommend to the City Council approval of the Two Rivers Southside Major Subdivision, subject to the following conditions:

1. Make corrections to the improvement plans as outlined by the Public Works Director (**Attachment 8**) and Floodplain Administrator (**Attachment 6**); and provide landscape plans for approval prior to recording of the subdivision plat.
2. Floodplain Development Permit is required for any development/grading within the 100 year flood plain and meet the specific standards outlined by the Floodplain Administrator (**Attachment 6**).
3. Make the following corrections and clarifications to the plat prior to recording:
 - a. The Park site and Alleys shall be owned and maintained by the homeowners association.
 - b. Designate the 15 foot wide trail and river access easement as a “15 foot Public Trail, Drainage and River Access Easement.” The 25 foot wide trail easement along the east side of the Arkansas River shall be “public” as well.
 - c. Clarify the differences between the building setbacks for R-3 and R-4 on the subdivision layout. Add a note to the Typical Lot Layout that states detached accessory structures and dwelling units have different setbacks per the Salida Land Use and Development Code.
 - d. Alleys shall be designated as “Access and Utility Easements.”
 - e. Provide a storm water drainage easement to the east side of Lot 23 to allow storm water to be conveyed to the river.
 - f. Delineate 100 year flood zone.
 - g. Include 10 foot wide public utility easements as recommended by Xcel Energy.
4. The design of the project’s residences shall meet the requirements of Section 16-6-120 (11) which requires spacing of repetitive building facades.
5. The Fair Contribution for Public School sites will be \$444.66 per unit.
6. Developer shall enter into a subdivision improvement agreement that guarantees the construction of the public improvements that are required for the project, prior to the recording of the subdivision plat.
7. The annexation agreement for the north half of the property allows the option to construct Scott Street adjacent to the project or have applicant provide a fee equal to the estimated cost of the street segment for construction at a later date. This determination shall be made by staff prior to completion of roadway construction within the subdivision and be based on the general condition of Scott Street.
8. The variance proposed to the street cross section is approved, with the modification that the roadway width within the 60 right of way be 36 feet.

Attachments:

1. River Ridge Plat
2. Narrative
3. Application
4. Survey
5. Civil Engineering Plans
6. Floodplain Administrator Review
7. Street Cross Sections
8. Public Works Review
9. Proof of Publication
10. Request for Street Cross Section Variance

RIVER RIDGE

LOCATED WITHIN THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE
SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 49 NORTH, RANGE 9 EAST
OF THE NEW MEXICO PRINCIPAL MERIDIAN
CITY OF SALIDA
CHAFFEE COUNTY, COLORADO

CERTIFICATION OF TITLE

I, _____, A LICENSED TITLE INSURANCE AGENT IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE PROPERTY HEREBY DEDICATED AND AS SHOWN AND DESCRIBED ON THIS PLAT AND FOUND TITLE VESTED IN SALIDA RIVER LIVING LLC, FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES EXCEPT AS LISTED BELOW:

DATED THIS ____ DAY OF _____, 2019.

TITLE AGENT

ACKNOWLEDGMENT OF LIEN HOLDER

ROBERT D. TREAT, AS LIEN HOLDER, HEREBY ACKNOWLEDGES AND APPROVES THE TERMS, CONDITIONS AND DEDICATION AS DISCLOSED UPON THIS PLAT.

ROBERT D. TREAT _____ DATE _____

ACKNOWLEDGMENT OF LIEN HOLDER

ANDREW JAMES PETERNELL & JAMIE VICTORIA PETERNELL, AS LIEN HOLDERS, HEREBY ACKNOWLEDGES AND APPROVES THE TERMS, CONDITIONS AND DEDICATION AS DISCLOSED UPON THIS PLAT.

ANDREW JAMES PETERNELL _____ DATE _____

JAMIE VICTORIA PETERNELL _____ DATE _____

GENERAL NOTES

- 1) BASIS OF BEARING FOR THIS SURVEY IS GRID NORTH FROM COLORADO STATE PLANE COORDINATE SYSTEM CENTRAL ZONE, BASED ON G.P.S. OBSERVATIONS ALONG THE NORTHERLY LINE OF SUBJECT PROPERTY, BETWEEN TWO 1 1/2" ALUMINUM CAPS STAMPED LS 1 G 117, HAVING A BEARING OF SOUTH 89°07'49" EAST.
- 2) OWNER: ARKANSAS RIVER LIVING LLC, 770 CRESCENT LANE, LAKEWOOD, CO 80214
- 3) SUBDIVIDER: ARKANSAS RIVER LIVING LLC, 770 CRESCENT LANE, LAKEWOOD, CO 80214
- 4) AS REQUIRED UNDER SECTION 1 G. 6. 140 OF THE SALIDA MUNICIPAL CODE, A PAYMENT IN LIEU OF LAND DEDICATION FOR FAIR CONTRIBUTIONS FOR PUBLIC SCHOOL SITES SHALL BE PAID BY THE OWNER OF EACH LOT WITHIN THIS SUBDIVISION PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR ANY NEW RESIDENCE ON SUCH LOT.
- 5) PER SECTION 1 G-6-120(1) OF THE SALIDA MUNICIPAL CODE, NO RESIDENTIAL FACADE ELEVATION SHALL BE REPEATED MORE THAN ONCE EVERY FIVE (5) LOTS ON THE SAME SIDE OF THE STREET, NOR SHALL AN ELEVATION BE REPEATED DIRECTLY ACROSS THE STREET FROM THE SAME FACADE ELEVATION. MIRROR IMAGES OF THE SAME RESIDENTIAL FACADE SHALL NOT COUNT AS TWO DISTINCTLY DIFFERENT FACADES.
- 6) THIS PLAT SUBJECT TO THE TERMS & CONDITIONS AS SET FORTH IN THE DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED AT RECEPTION NO. _____.
- 7) THE 15' ACCESS & DRAINAGE EASEMENT AND THE 20' TRAIL EASEMENT ARE INTENDED TO FULFILL THE "PARKS, TRAILS & OPEN SPACE DEDICATION REQUIREMENTS" PER SECTION 1 G-6-120 (8) OF THE SALIDA MUNICIPAL CODE. THESE DEDICATIONS SHALL BE CONSIDERED AN EXTRAORDINARY CONTRIBUTION TO TRAIL AND WATERWAY ACCESS AND THEREFOR THE OPEN SPACE REQUIREMENTS OF SECTION 1 G-6-120 (8) HAVE BEEN MET.
- 8) RESIDENTIAL DENSITY OF THAT PORTION OF THE PROPERTY LYING NORTHEAST OF THE CENTERLINE OF THE ARKANSAS RIVER MAY NOT BE TRANSFERRED TO THE PORTION OF THE PROPERTY LYING SOUTHWEST OF THE CENTERLINE OF THE ARKANSAS RIVER.
- 9) ANY BUILDING TO BE PERMITTED IN THE 100 YEAR FLOOD PLAIN SHALL COMPLY WITH ARTICLE XI, FLOOD CONTROL, OF THE SALIDA MUNICIPAL CODE.
- 10) ALL OPEN SPACE AREAS, INTERNAL TRAILS, PARKS AND STREET PARKWAYS TO BE IMPROVED BY THE DEVELOPER AND MAINTAINED BY THE H.O.A. OR OTHER DESIGNATED PARTY.
- 1) RIVER RIDGE IS SUBJECT TO THE SUBDIVISION IMPROVEMENT AGREEMENT AS RECORDED AT RECEPTION NO. _____.
- 2) RIVER RIDGE IS SUBJECT TO ARTICLE XIII, INCLUSIONARY HOUSING, OF CHAPTER 1 G OF THE SALIDA MUNICIPAL CODE.

LAND SURVEYOR'S CERTIFICATE

I, SYDNEY A. SCHIEREN, A REGISTERED LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS LAND SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION, AND THAT THE PLAT REPRESENTS THE RESULTS OF SAID SURVEY AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

PRELIMINARY
INTENDED FOR REVIEW ONLY
AND AGENTS ONLY

SYDNEY A. SCHIEREN
COLORADO P.C.S. 37937



CERTIFICATE OF DEDICATION AND OWNERSHIP

KNOW ALL PERSONS BY THESE PRESENTS THAT ARKANSAS RIVER LIVING LLC, THE FEE OWNER OF THE FOLLOWING DESCRIBED PROPERTY:

A TRACT OF LAND LOCATED IN THE SOUTH HALF OF NORTHEAST QUARTER OF THE SOUTHWEST QUARTER (S 1/2 NE 1/4 SW 1/4) OF SECTION 4, TOWNSHIP 49 NORTH, RANGE 9 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, CITY OF SALIDA, CHAFFEE COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST SIDE LINE OF A LANE OR STREET KNOWN AS SCOTT STREET, FROM WHENCE THE NORTHWEST CORNER OF SAID SUBDIVISION BEARS FIRST NORTH 1 63 FEET; THENCE WEST 37 FEET; THENCE PROCEEDING AROUND THE TRACT HEREIN DESCRIBED, SOUTH 89°24'06" EAST ALONG THE SOUTH BOUNDARY OF PEEL'S SUBDIVISION A DISTANCE OF 452 FEET TO THE SOUTHEAST CORNER THEREOF; THENCE NORTH 00°31'36" EAST ALONG THE EAST BOUNDARY OF SAID SUBDIVISION A DISTANCE OF 150.0 FEET TO THE SOUTH BOUNDARY OF A LANE; THENCE SOUTH 89°31'00" EAST ALONG THE SOUTH BOUNDARY OF SAID LANE, 154.0 FEET TO THE SOUTHEAST CORNER OF SAID LANE; THENCE NORTH 00°29'00" EAST ALONG THE EAST BOUNDARY OF SAID LANE 13.0 FEET TO A POINT ON THE NORTH BOUNDARY OF THE SAID S 1/2 NE 1/4 SW 1/4; THENCE SOUTH 89°25'50" EAST ALONG SAID NORTH BOUNDARY 425.2 FEET, MORE OR LESS, TO THE WESTERLY BOUNDARY OF THE TRACT OF LAND GRANTED TO THE DENVER AND RIO GRANDE RAILROAD COMPANY IN BOOK 73 AT PAGE 309 OF THE CHAFFEE COUNTY RECORDS; THENCE ALONG THE WESTERLY BOUNDARY OF SAID RAILROAD TRACT, FIRST ALONG THE ARC OF A CURVE A DISTANCE OF 173.91 FEET, SAID CURVE HAVING A RADIUS OF 900.0 FEET AND A CHORD WHICH BEARS SOUTH 34°00'47" EAST 173.64 FEET, AND THENCE SOUTH 39°32'54" EAST 1 61.36 FEET TO THE EAST BOUNDARY OF THE SAID S 1/2 NE 1/4 SW 1/4; THENCE SOUTH 00°18'00" EAST ALONG SAID EAST BOUNDARY 1.57 FEET; THENCE SOUTH 77°30' WEST 725.59 FEET; THENCE NORTH 75°00'00" WEST 273.35 FEET; THENCE NORTH 00°52'00" EAST 61.82 FEET; THENCE NORTH 89°18'00" WEST 262.30 FEET TO THE EAST BOUNDARY OF SCOTT STREET; THENCE NORTH 00°30'11" EAST 138.45 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH
A TRACT OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER (S 1/2 NE 1/4 SW 1/4) OF SECTION 4, TOWNSHIP 49 NORTH, RANGE 9 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, CHAFFEE COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH SIDE OF CHAFFEE COUNTY ROAD NO. 105, FROM WHENCE THE SOUTHEAST CORNER (BRASS CAP) OF SAID SECTION 4 BEARS SOUTH 69°56' EAST 4,117.5 FEET, AND ALSO FROM WHENCE THE HIGHWAY RIGHT-OF-WAY MARKER (BRASS CAP IN CONCRETE) AT STATION 2304+26 OF THE CENTERLINE SURVEY OF U.S. HIGHWAY NO. 50 BEARS NORTH 89°35' WEST 217.9 FEET; THENCE SOUTH 85°01' EAST 44.9 FEET TO A REBAR WITH A 1 1/2-INCH ALUMINUM CAP ON THE NORTH SIDE OF SAID COUNTY ROAD; THENCE SOUTH 89°18' EAST ALONG THE SAID NORTH SIDE OF SAID COUNTY ROAD A DISTANCE OF 262.3 FEET TO THE SOUTHEAST CORNER OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN BOOK 502 AT PAGE 186 OF THE RECORDS OF SAID CHAFFEE COUNTY, BEING THE POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED;

THENCE PROCEEDING AROUND SAID TRACT NORTH 00°52' EAST ALONG THE EAST BOUNDARY OF SAID TRACT AS DESCRIBED IN BOOK 502 AT PAGE 186 AND A PROJECTION NORTHERLY OF SAID EAST BOUNDARY A TOTAL DISTANCE OF 268.18 FEET; THENCE SOUTH 75°00' EAST 273.30 FEET TO A REBAR WITH A 1 1/2-INCH ALUMINUM CAP AT THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN BOOK 414 AT PAGE 518 OF SAID COUNTY RECORDS, AS SAID PARCEL IS MONUMENTED; THENCE SOUTH 00°19'14" EAST ALONG THE WEST BOUNDARY OF SAID PARCEL AS MONUMENTED 200.43 FEET TO A REBAR WITH A 1 1/2-INCH ALUMINUM CAP AT THE SOUTHWEST CORNER OF SAID PARCEL AS DESCRIBED IN BOOK 414 AT PAGE 518, SAID POINT BEING ON THE NORTHERLY BOUNDARY OF SAID CHAFFEE COUNTY ROAD NO. 105; THENCE NORTH 89°21'34" WEST ALONG SAID NORTHERLY COUNTY ROAD BOUNDARY 269.18 FEET TO THE POINT OF BEGINNING.

CITY OF SALIDA, CHAFFEE COUNTY, COLORADO
TOGETHER WITH
A TRACT OF LAND LOCATED IN THE NE 1/4 OF THE SW 1/4 OF SECTION 4, TOWNSHIP 49 NORTH, RANGE 9 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, CHAFFEE COUNTY, COLORADO, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT AT A FENCE CORNER ON THE NORTH SIDE OF A CHAFFEE COUNTY ROAD FROM WHENCE THE SE COR (BRASS CAP) OF SECTION 4 BEARS SOUTH 66°55.4' EAST 3580.6 FEET, SAID BEGINNING POINT, TWO REMAINING TRACT CORNERS, AND TWO WITNESS CORNERS ARE MARKED BY 5/8 INCH REBARS WITH 1 1/2 INCH ALUMINUM CAPS; THENCE PROCEEDING AROUND THE TRACT NORTH 200.0 FEET; THENCE NORTH 77°30' EAST 285.0 FEET TO A WITNESS CORNER; THENCE CONTINUING NORTH 77°30' EAST 144.5 FEET TO A POINT WHICH IS NORTH 8°30.3' WEST OF ANOTHER WITNESS CORNER; THENCE SOUTH 8°30.3' WEST 107.7 FEET TO THE WITNESS CORNER; THENCE CONTINUING SOUTH 8°30.3' WEST 188.5 FEET TO A POINT ON THE NORTH SIDE OF THE SAID CHAFFEE COUNTY ROAD; THENCE WEST ALONG SAID NORTH SIDE AS FENCED 375.5 FEET TO THE POINT OF BEGINNING.

HAS LAID-OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, PARCELS OR OUTLOTS, AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF:

RIVER RIDGE
IN THE
CITY OF SALIDA
CHAFFEE COUNTY, COLORADO

AND DO HEREBY DEDICATE TO THE CITY OF SALIDA AS PUBLIC ROADS, THE ALLEY, STREETS AND ROADS AS SHOWN ON SAID PLAT, AND HEREBY DEDICATES TO THE PUBLIC THE PARK, THE 15' RIVER ACCESS & TRAIL EASEMENT AND THE 20' TRAIL EASEMENT AS SHOWN HEREON. THE UNDERSIGNED HEREBY FURTHER DEDICATE TO THE PUBLIC UTILITIES THE RIGHT TO INSTALL, MAINTAIN AND OPERATE MAINS, TRANSMISSION LINES, SERVICE LINES AND APPURTENANCES TO PROVIDE SUCH UTILITY SERVICE WITHIN THIS SUBDIVISION OR PROPERTY CONTIGUOUS THERETO, UNDER, ALONG AND ACROSS PUBLIC ROADS AND UTILITY EASEMENTS AS SHOWN ON THIS PLAT.

EXECUTED THIS ____ DAY OF _____ 2019

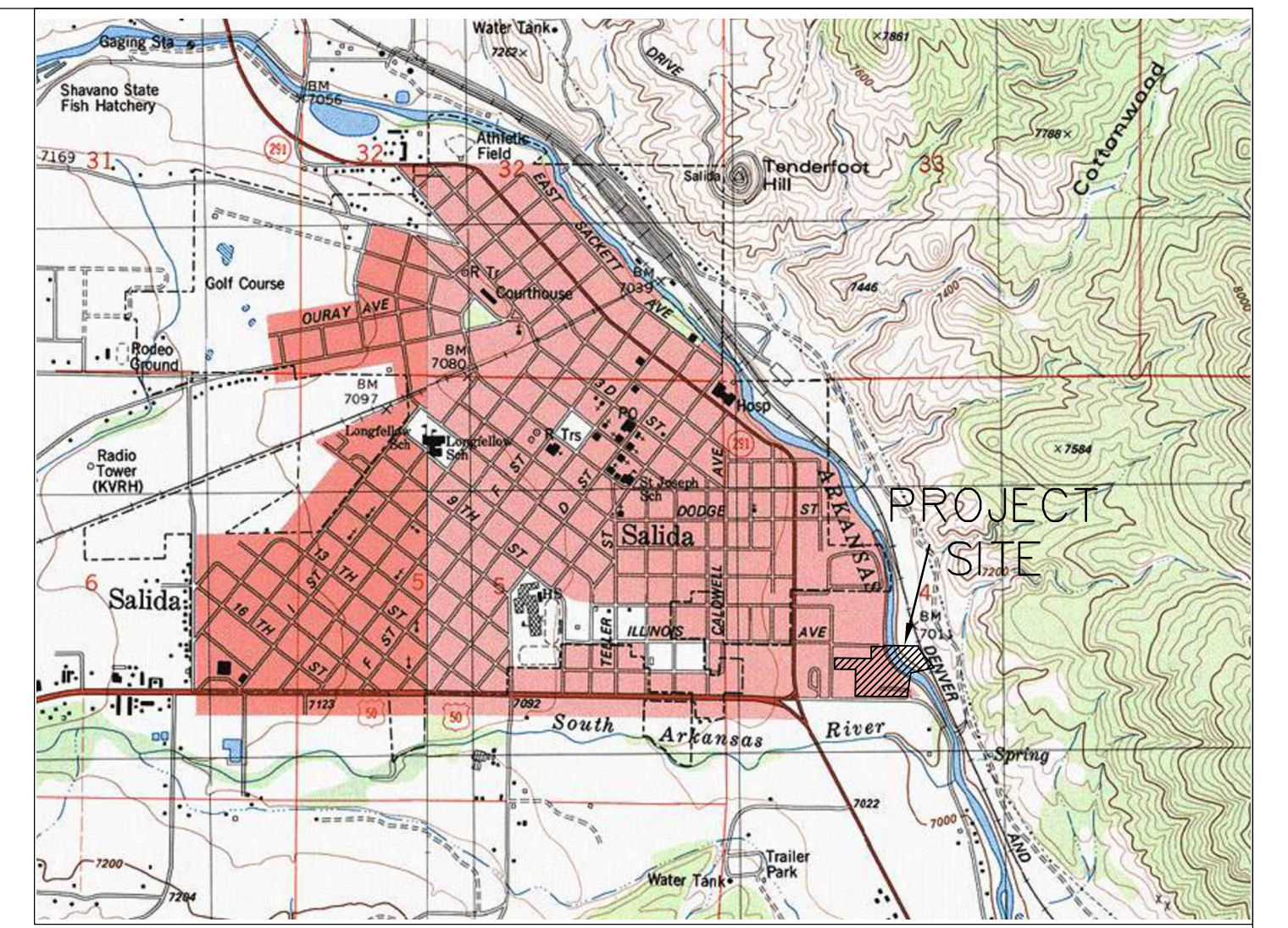
BY: TOM MESCH, AS MANAGING MEMBER

COUNTY OF CHAFFEE)
) SS.
STATE OF COLORADO)

THE FORGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____ 2019, BY TOM MESCH, AS SALIDA RIVER LIVING LLC MANAGING MEMBER. WITNESS MY HAND AND SEAL.

MY COMMISSION EXPIRES _____.

NOTARY PUBLIC



VICINITY MAP
NOT TO SCALE

CITY COUNCIL APPROVAL

THIS PLAT IS APPROVED FOR FILING AND THE CITY HEREBY ACCEPTS THE DEDICATION OF THE STREETS AND ROADS SHOWN HEREON SUBJECT TO THE "STREET MAINTENANCE" SET FORTH ABOVE, AND FURTHER ACCEPTS THE DEDICATION OF THE PARK AND EASEMENTS SHOWN HEREON.

SIGNED THIS ____ DAY OF _____, 2019.
CITY OF SALIDA

BY: _____
MAYOR

PLANNING COMMISSION APPROVAL

THIS PLAT IS APPROVED BY THE CITY OF SALIDA PLANNING COMMISSION THIS ____ DAY OF _____, 2019.

CHAIR OF PLANNING COMMISSION, CITY OF SALIDA

CERTIFICATE OF STREET & UTILITY MAINTENANCE

PUBLIC NOTICE IS HEREBY GIVEN THAT NEITHER THE DEDICATED PUBLIC ROADS NOR THE PUBLIC UTILITIES SHOWN ON THIS PLAT WILL BE MAINTAINED BY THE CITY OF SALIDA UNTIL AND UNLESS THE SUBDIVIDER CONSTRUCTS THE STREETS, ROADS AND UTILITIES IN ACCORDANCE WITH THE SUBDIVISION AGREEMENT AS RECORDED AT RECEPTION NO. _____, IF ANY, AND THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE OF THE RECORDING OF THIS PLAT, AND APPROVAL OF THE CITY HAS BEEN ISSUED TO THAT EFFECT. WHEN THE CITY APPROVES A STREET OR UTILITY FOR MAINTENANCE, THE STREET OR UTILITY SHALL BECOME PUBLIC IN ALL SENSES OF THE WORD AND THE SUBDIVIDER HAS NO FURTHER OBLIGATIONS IN REGARDS TO THAT PARTICULAR STREET OR UTILITY.

CLERK AND RECORDER'S CERTIFICATE

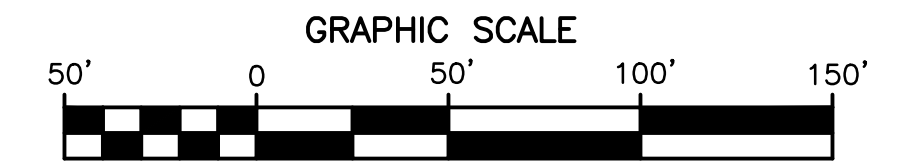
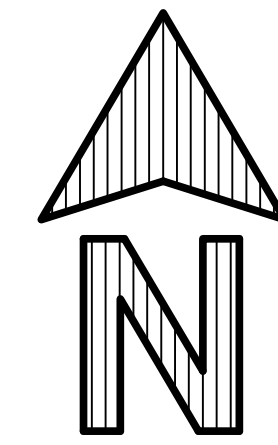
THIS PLAT WAS FILED IN THE OFFICE OF THE CLERK AND RECORDER OF CHAFFEE COUNTY, COLORADO, AT _____ M. ON THIS ____ DAY OF _____, 2019 UNDER RECEPTION NUMBER _____.

CHAFFEE COUNTY CLERK AND RECORDER

REVISED:	<p style="text-align: center;">RIVER RIDGE</p> <p style="text-align: center;">LOCATED WITHIN THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 49 NORTH, RANGE 9 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN CITY OF SALIDA CHAFFEE COUNTY, COLORADO</p> <p style="text-align: center;">LANDMARK SURVEYING & MAPPING</p> <p style="text-align: center;">P.O. BOX 668 SALIDA, CO 81201 PH 719.539.4021 FAX 719.539.4031</p>
JOB # 1974	
DATE: AUGUST 21, 2019	
SHEET 1 OF 2	

RIVER RIDGE

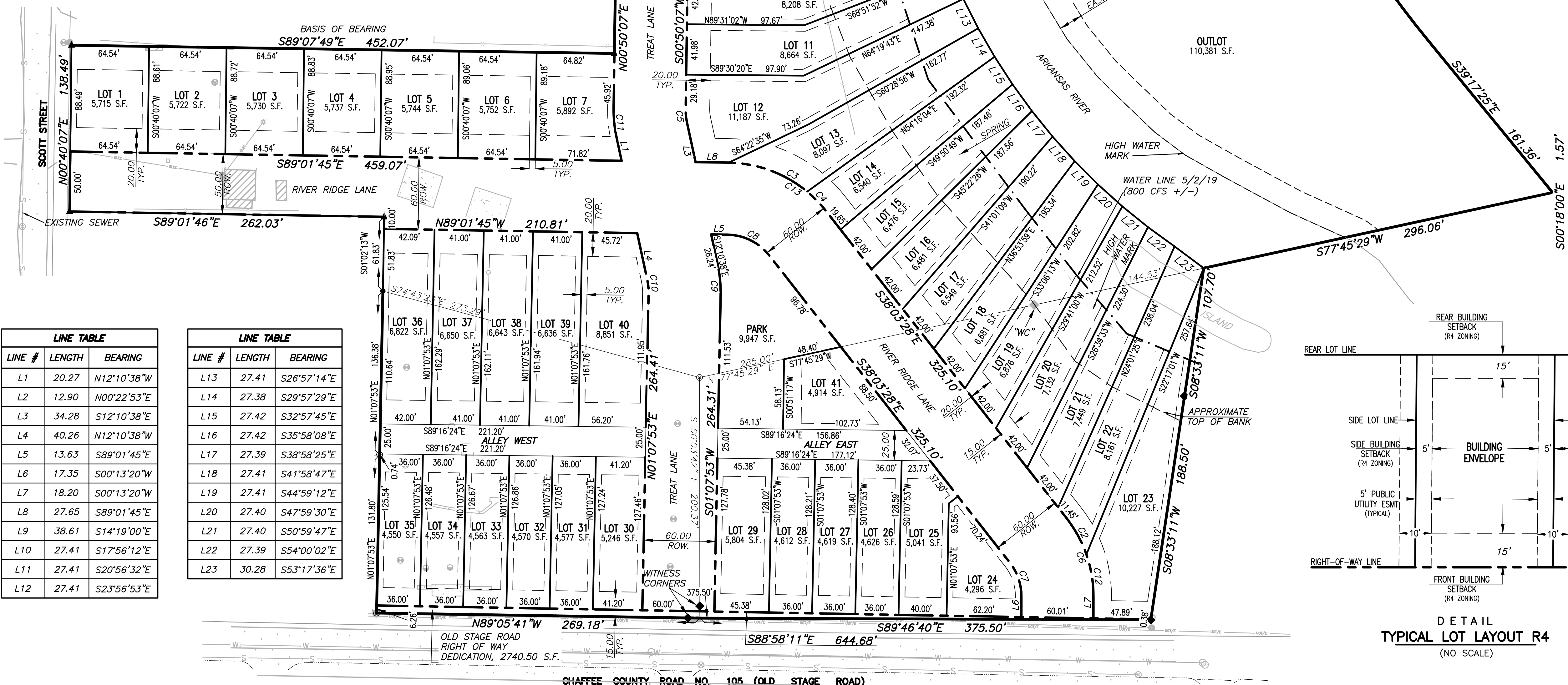
LOCATED WITHIN THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE
SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 49 NORTH, RANGE 9 EAST
OF THE NEW MEXICO PRINCIPAL MERIDIAN
CITY OF SALIDA
CHAFFEE COUNTY, COLORADO



CURVE TABLE					
CURVE #	RADIUS	DELTA	LENGTH	CHORD	CHORD BRNG
C1	900.00	011°04'13"	173.89	173.62	S33°45'19"E
C2	105.00	018°46'44"	34.41	34.26	S28°40'06"E
C3	105.00	038°41'55"	70.92	69.58	S69°40'48"E
C4	105.00	012°16'23"	22.49	22.45	S44°11'39"E
C5	45.00	013°00'45"	10.22	10.20	S05°40'15"E
C6	105.00	019°30'03"	35.74	35.56	S09°31'42"E
C7	45.00	050°58'18"	40.03	38.73	N18°55'04"W
C8	45.00	050°58'18"	40.03	38.73	N18°55'04"W
C9	107.22	013°01'55"	24.39	24.33	S05°31'23"E
C10	45.95	013°01'55"	10.45	10.43	N05°31'23"W
C11	105.00	013°00'45"	23.85	23.80	N05°40'15"W
C12	105.00	019°30'03"	35.74	35.56	S09°31'42"E
C13	105.00	038°41'55"	70.92	69.58	S69°40'48"E

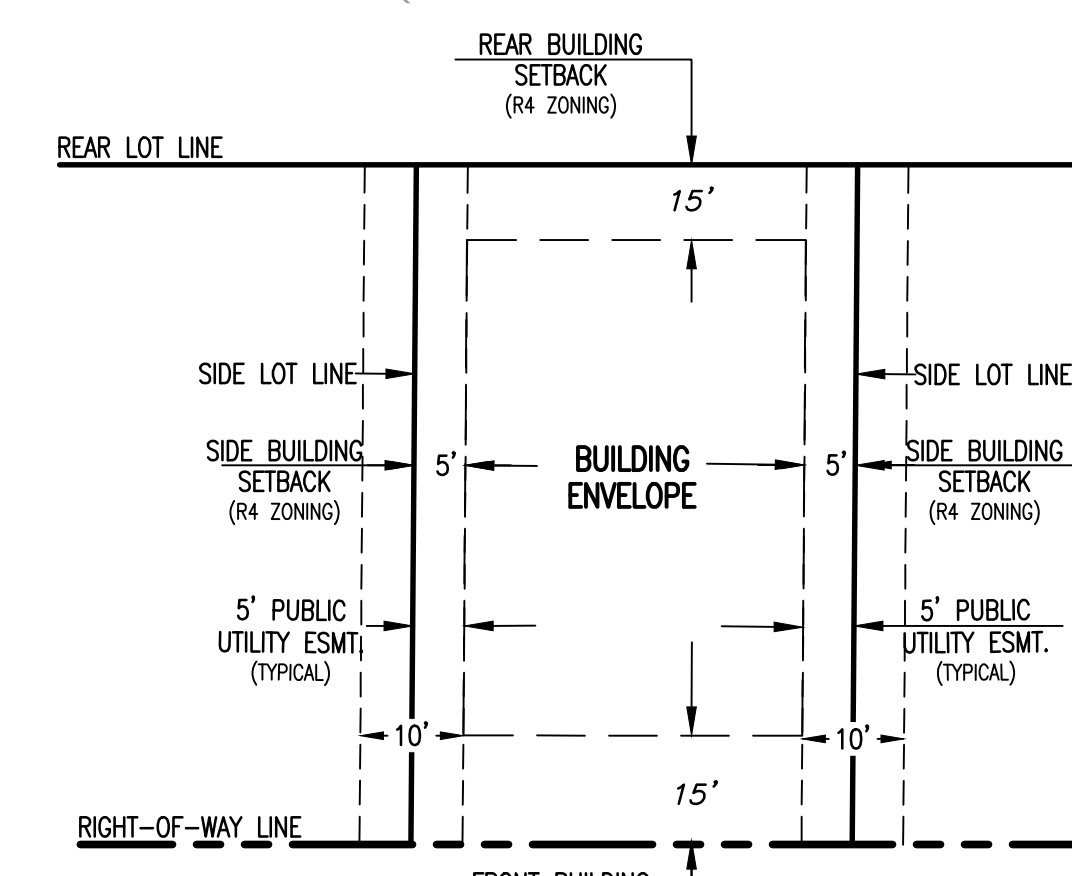
LEGEND	
	PROJECT BOUNDARY
	EXISTING/ADJACENT RIGHT-OF-WAY
	NEW ROAD RIGHT-OF-WAY
	TOWN BOUNDARY
	NEW LOT LINE
	NEW EASEMENT LINE
	BUILDING SETBACK LINE
	WATER MAIN
	SEWER MAIN
	UTILITY POLE
	UNDERGROUND PHONE
	OVERHEAD ELECTRIC AND PHONE
	GAS MAIN
	FENCE
	WATER VALVE
	SEWER MANHOLE
	COMMUNICATION PEDESTAL
	ELECTRICAL PEDESTAL
	1 1/2" ALUMINUM CAP STAMPED "LS 17117"
	1 1/2" ALUMINUM CAP STAMPED "LS 37937"
	1" ALUMINUM CAP STAMPED "LS 1776"
	CHAIN LINK FENCE POST

	Area (Acres)
Lots	5.92
Outlot	2.53
Park	0.23
Right of Way	2.49
Total	11.17

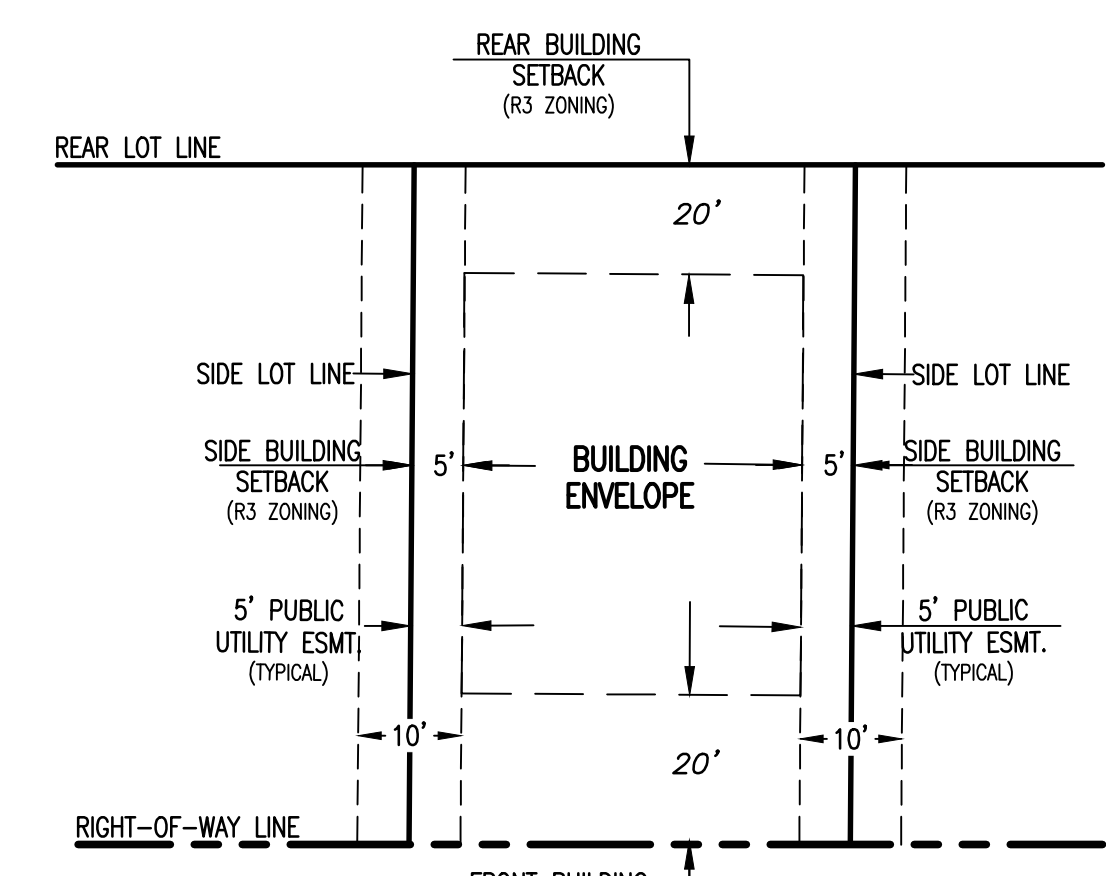


LINE TABLE		
LINE #	LENGTH	BEARING
L1	20.27	N12°10'38"W
L2	12.90	N00°22'53"E
L3	34.28	S12°10'38"E
L4	40.26	N12°10'38"W
L5	13.63	S89°01'45"E
L6	17.35	S00°13'20"W
L7	18.20	S00°13'20"W
L8	27.65	S89°01'45"E
L9	38.61	S14°19'00"E
L10	27.41	S17°56'12"E
L11	27.41	S20°56'32"E
L12	27.41	S23°56'53"E

LINE TABLE		
LINE #	LENGTH	BEARING
L13	27.41	S26°57'14"E
L14	27.38	S29°57'29"E
L15	27.42	S32°57'45"E
L16	27.42	S35°58'08"E
L17	27.39	S38°58'25"E
L18	27.41	S41°58'47"E
L19	27.41	S44°59'12"E
L20	27.40	S47°59'30"E
L21	27.40	S50°59'47"E
L22	27.39	S54°00'02"E
L23	30.28	S53°17'36"E



DETAIL
TYPICAL LOT LAYOUT R4
(NO SCALE)



DETAIL
TYPICAL LOT LAYOUT R3
(NO SCALE)

ASSISTED BY:
CRABTREE GROUP INC.
ENGINEERING SMART GROWTH™

REVISED:
JOB # 1974
DATE: AUGUST 26, 2019
SHEET 2 OF 2

RIVER RIDGE
LOCATED WITHIN THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 49 NORTH, RANGE 9 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN CITY OF SALIDA CHAFFEE COUNTY, COLORADO

LANDMARK SURVEYING & MAPPING
P.O. BOX 668 SALIDA, CO 81201
PH 719.539.4021 FAX 719.539.4031

Applicant's Narrative

August 26, 2019

River Ridge is a proposed subdivision located in Salida, Colorado, on a 9.06-acre site. Proposed construction includes 41 residential lots and a park. Other improvements to the site will be asphalt roadways with curb and gutter, concrete sidewalk, and water and sewer services. Per the annexation agreement approved by Salida City Council 2/19/19, the subdivision will provide public river access on the west side of the river at Illinois Avenue, an extension of Treat Lane which lines up with Two Rivers, and a trail easement on the east side of the river. Included for your review are the following items for major impact review submittal:

1. Application Form
2. Property Survey
3. Drainage Report
4. Civil Engineering Plans
5. Plat



LIMITED IMPACT & MAJOR IMPACT SUBMITTAL REQUIREMENTS

448 East First Street, Suite 112
Salida, CO 81201
Phone: 719-530-2626 Fax: 719-539-5271
Email: planning@cityofsalida.com

An application is meant to highlight the requirements and procedures of the Land Use Code. With any development application, it is the responsibility of the applicant to read, understand, and follow all of the provisions of the Land Use Code.

1. PROCEDURE (Section 16-3-80)

A. Development Process (City Code Section 16-3-50) Any application for approval of a development permit shall include a written list of information which shall constitute the applicant's development plan, which shall be that information necessary to determine whether the proposed development complies with this Code. The development plan shall include the following, as further specified for each level of review on the pre-application checklist:

1. Pre-Application Conference (Limited Impact and Major Impact Review Applications)
2. Submit Application
4. Staff Review. Staff report or decision forwarded to the applicant (Administrative review)
5. Public Notice
6. Public Hearing with Planning Commission (Limited Impact and Major Impact Review Applications)
7. Public Notice
8. Hearing Conducted by City Council (Major Impact Review)

B. Application Contents (City Code Section 16-3-50)

1. A copy of a current survey or the duly approved and recorded subdivision plat covering the subject lots where the proposal is for development on previously subdivided or platted lots;
2. A brief written description of the proposed development signed by the applicant;
3. Special Fee and Cost Reimbursement Agreement completed.
4. Public Notice.
 - a) List. A list shall be submitted by the applicant to the city of adjoining property owners' names and addresses. A property owner is considered adjoining if it is within 175 feet of the subject property regardless of public ways. The list shall be created using the current Chaffee County tax records.
 - b) Postage Paid Envelopes. Each name on the list shall be written on a postage-paid envelope. Postage is required for up to one ounce. Return Address shall be: City of Salida, 448 E. First Street, Suite 112, Salida, CO 81201.
 - c) Applicant is responsible for posting the property and submittal of notarized affidavits for proof of posting the public notice.
5. Developments involving construction shall provide the following information:

(i) A development plan map, at a scale of one (1) inch equals fifty (50) feet or larger with title, date, north arrow and scale on a minimum sheet size of eight and one-half (8½) inches by eleven (11) inches, which depicts the area within the boundaries of the subject lot, including:

- a. The locations of existing and proposed land uses, the number of dwelling units and the square footage of building space devoted to each use;
- b. The location and dimensions, including building heights, of all existing and proposed Buildings or structures and setbacks from lot lines or building envelopes where exact dimensions are not available;
- c. Parking spaces;
- d. Utility distribution systems, utility lines, and utility easements;
- e. Drainage improvements and drainage easements;
- f. Roads, alleys, curbs, curb cuts and other access improvements;
- g. Any other improvements;
- h. Any proposed reservations or dedications of public right-of-way, easements or other public lands, and
- i. Existing topography and any proposed changes in topography, using five-foot contour intervals or ten-foot contour intervals in rugged topography.

(ii) 24” x 36” paper prints certified by a licensed engineer and drawn to meet City specifications to depict the following:

- a. Utility plans for water, sanitary sewer, storm sewer, electric, gas and telephone lines;
- b. Plans and profiles for sanitary and storm sewers; and
- c. Profiles for municipal water lines; and
- d. Street plans and profiles.

(iii) Developments in the major impact review procedure shall provide a development plan map on paper prints of twenty-four (24) inches by thirty-six (36) inches, with north arrow and scale, and with title and date in lower right corner, at a scale of one (1) inch equals fifty (50) feet or larger which depicts the area within the boundaries of the subject lots and including those items in Section 16-3-40(a)(3).

6. Any request for zoning action, including review criteria for a requested conditional use (Sec. 16-4-190) or zoning variance (Sec. 16-4-180);

7. Any subdivision request including a plat meeting the requirements of Section 16-6-110;

□ 8. Any other information which the Administrator determines is necessary to determine whether the proposed development complies with this Code, including but not limited to the following:

(i) A tabular summary of the development proposal, which identifies the total proposed development area in acres, with a breakdown of the percentages and amounts devoted to specific land uses; total number and type of proposed residential units; total number of square feet of proposed nonresidential space; number of proposed lots; and sufficient information to demonstrate that the plat conforms with all applicable dimensional standards and off-street parking requirements.

(ii) A description of those soil characteristics of the site which would have a significant influence on the proposed use of the land, with supporting soil maps, soil logs and classifications sufficient to enable evaluation of soil suitability for development purposes. Data furnished by the USDA Natural Resource Conservation Service or a licensed engineer shall be used. The data shall include the shrink/swell potential of the soils, the groundwater levels and the resulting foundation requirements. Additional data may be required by the City if deemed to be warranted due to unusual site conditions.

(iii) A report on the geologic characteristics of the area, including any potential natural or man-made hazards which would have a significant influence on the proposed use of the land, including but not limited to hazards from steep or unstable slopes, rockfall, faults, ground subsidence or radiation, a determination of what effect such factors would have, and proposed corrective or protective measures.

(iv) Engineering specifications for any improvements.

(v) A plan for erosion and sediment control, stabilization and revegetation.

(vi) A traffic analysis prepared by a qualified expert, including projections of traffic volumes to be generated by the development and traffic flow patterns, to determine the impacts of a proposed development on surrounding City streets and to evaluate the need for road improvements to be made.

(vii) A storm drainage analysis consisting of the following:

(a) A layout map (which may be combined with the topographic map) showing the method of moving storm sewer water through the subdivision shall be provided. The map shall also show runoff concentrations in acres of drainage area on each street entering each intersection. Flow arrows shall clearly show the complete runoff flow pattern at each intersection. The location, size and grades of culverts, drain inlets and storm drainage sewers shall be shown, as applicable.

(b) The applicant shall demonstrate the adequacy of drainage outlets by plan, cross-section and/or notes and explain how diverted stormwater will be handled after it leaves the subdivision. Details for ditches and culverts shall be submitted, as applicable.

(c) The projected quantity of stormwater entering the subdivision naturally from areas outside of subdivision and the quantities of flow at each pickup point shall be calculated.

(viii) Evidence of adequate water supply and sanitary sewer service - Data addressing the population planned to occupy the proposed subdivision and future development phases and other developments that may need to be served by extensions of the proposed water supply and sewage disposal systems. The resulting domestic, irrigation and fire flow demands shall be expressed in terms of gallons of water needed on an average day and at peak time, and the resulting amounts of sewage to be treated shall be expressed in gallons per day.

(ix) An analysis shall be submitted addressing how water for domestic use and for fire flows is to be provided, along with the collection and treatment of sewage generated by the property to be subdivided.

(x) A statement shall be submitted addressing the quantity, quality and availability of any water that is attached to the land.

(xi) A preliminary estimate of the cost of all required public improvements, tentative development schedule (with development phases identified), proposed or existing covenants and proposed maintenance and performance guarantees. The applicant shall submit, at least in summary or outline form, any agreements as may be required by Section 16-2-70, relating to improvements and dedications.

(xii) If intending to use solar design in the development, include a description of the steps that have been taken to protect and enhance the use of solar energy in the proposed subdivision. This shall include how the streets and lots have been laid out and how the buildings will be sited to enhance solar energy usage.

(xiii) If applicable, a report shall be submitted identifying the location of the one-hundred-year floodplain and the drainageways near or affecting the property being subdivided. If any portion of a one-hundred-year floodplain is located on the property, the applicant shall also identify the floodway and floodway fringe area. The applicant shall also describe the steps that will be taken to ensure that development locating in the floodway fringe area is accomplished in a manner which meets Federal Insurance Administration standards.

(xiv) If applicable, a report shall be submitted on the location of wetlands, as defined by the U.S. Army Corp of Engineers, on or affecting the property being subdivided. The report shall outline the development techniques planned to ensure compliance with federal, state and local regulations.

(xv) A landscape plan, meeting the specifications of Section 16-8-90.

(xvi) If applicable, a description of how the proposal will comply with the standards of any of the overlays.

(xvii) A site plan for parks, trails and/or open space meeting the requirements of Section 16-6-110 below. If an alternate site dedication or fee in lieu of dedication is proposed, detailed information about the proposal shall be submitted.

(xviii) All development and subdivision naming shall be subject to approval by the City. No development or subdivision name shall be used which will duplicate or be confused with the name of any existing street or development in the City or the County;

9. An access permit from the Colorado Department of Transportation; and

10. A plan for locations and specifications of street lights, signs and traffic control devices.

2. REVIEW STANDARDS (If necessary, attach additional sheets)

The application for Limited or Major Impact Review shall comply with the following standards.

1. **Consistency with Comprehensive Plan.** The use shall be consistent with the City's Comprehensive Plan.

2. **Conformance to Code.** The use shall conform to all other applicable provisions of this Land Use Code, including, but not limited to:

- a. **Zoning District Standards.** The purpose of the zone district in which it is located, the dimensional standards of that zone district, and any standards applicable to the particular use, all as specified in Article 5, Use and Dimensional Standards.

Lots with portions in the R3 zone will meet R3

- b. **Site Development Standards.** The parking, landscaping, sign and improvements standards.

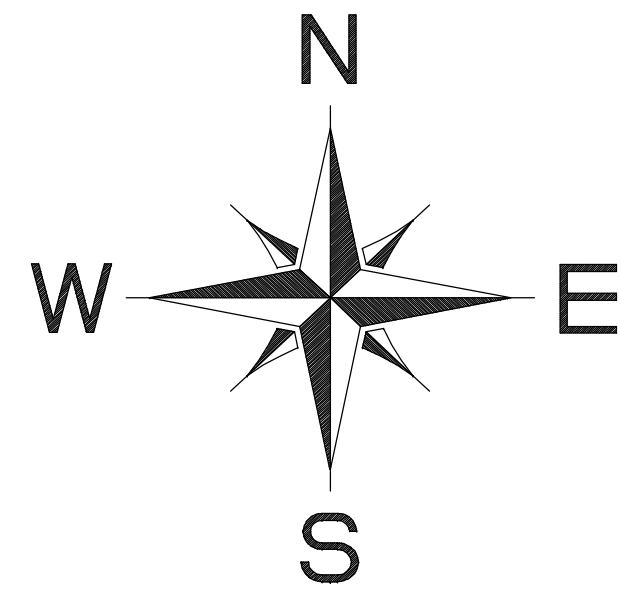
Public infrastructure improvements are shown on the civil engineering plans submitted with this application.

3. **Use Appropriate and Compatible.** The use shall be appropriate to its proposed location and be compatible with the character of neighboring uses, or enhance the mixture of complementary uses and activities in the immediate vicinity.

4. **Nuisance.** The operating characteristics of the use shall not create a nuisance and the impacts of the use on surrounding properties shall be minimized with respect to noise, odors, vibrations, glare, and similar conditions.

5. **Facilities.** There shall be adequate public facilities in place to serve the proposed use, or the applicant shall propose necessary improvements to address service deficiencies which the use would cause.

6. **Environment.** The use shall not cause significant deterioration to water resources, wetlands, wildlife habitat, scenic characteristics, or other natural features. As applicable, the proposed use shall mitigate its adverse impacts on the environment.

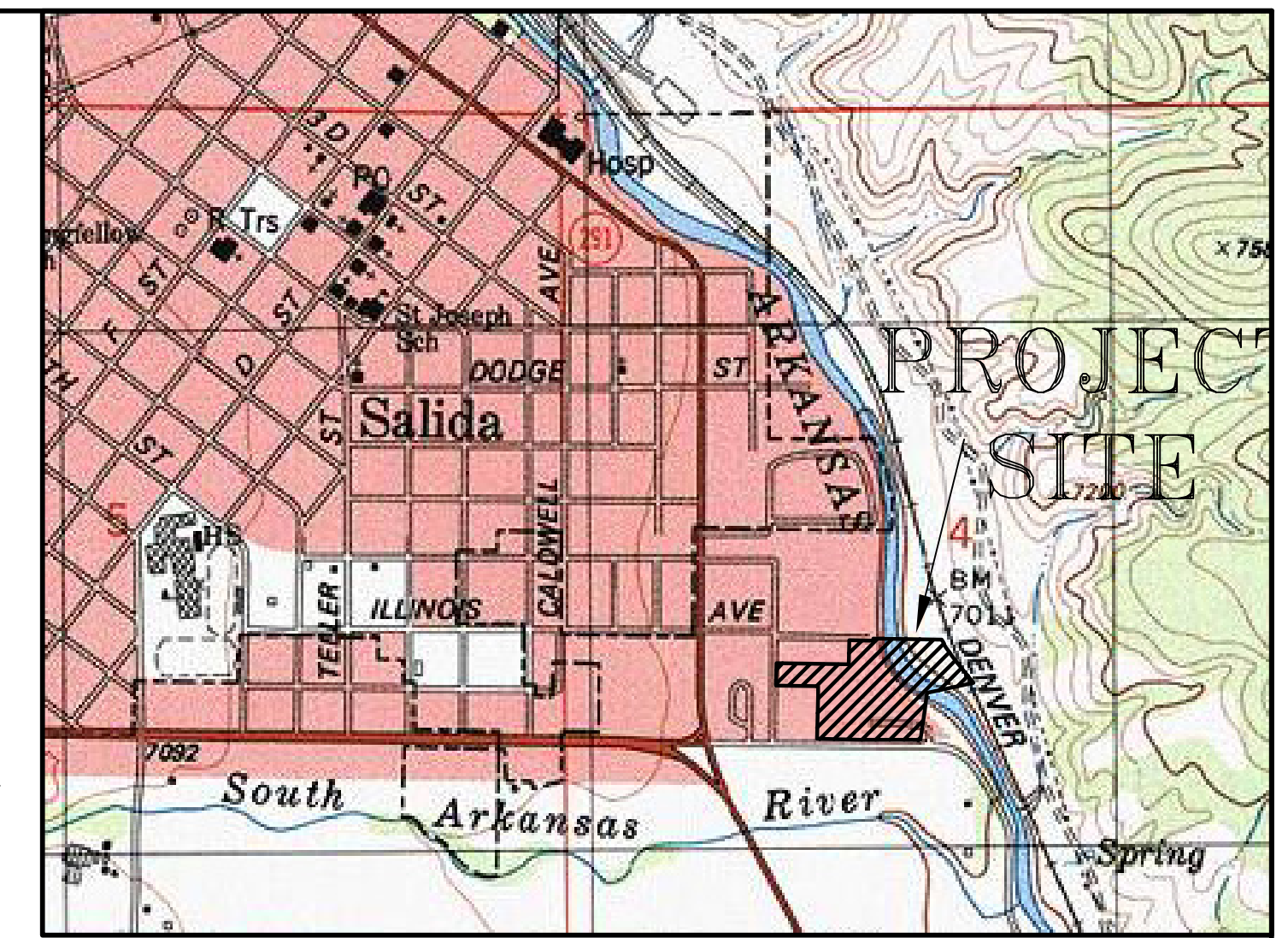


SCALE
1" = 50'

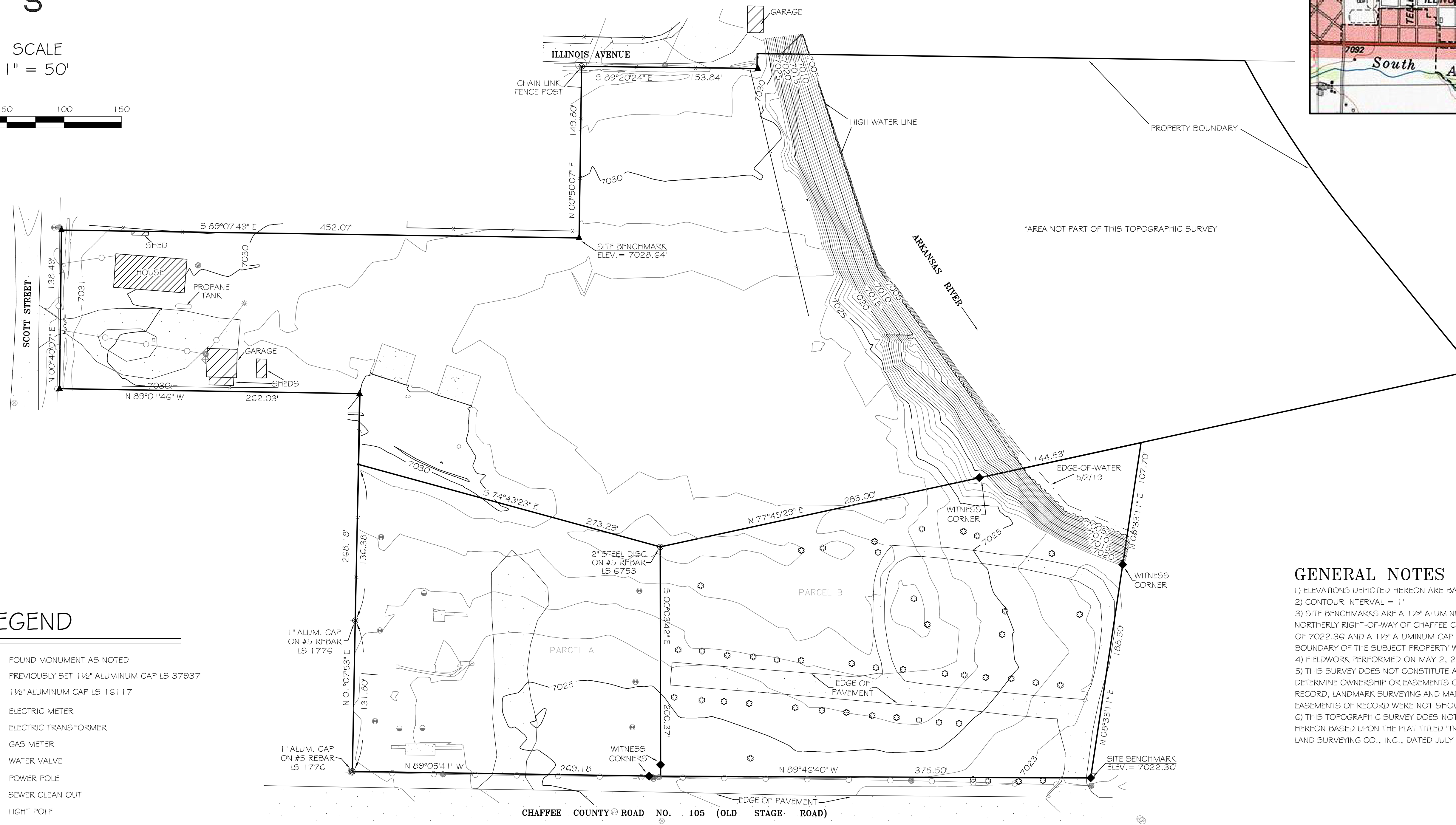


MESCH TOPOGRAPHIC SURVEY

LOCATED WITHIN THE S½ NE¼ SW¼ OF
SECTION 4, TOWNSHIP 49 NORTH, RANGE 9
EAST OF THE N.M.P.M.
CITY OF SALIDA, CHAFFEE COUNTY, COLORADO



VICINITY MAP
NOT TO SCALE



LEGEND

- FOUND MONUMENT AS NOTED
- ◆ PREVIOUSLY SET 1½" ALUMINUM CAP LS 37937
- ▲ 1½" ALUMINUM CAP LS 16117
- ⊕ ELECTRIC METER
- ⊞ ELECTRIC TRANSFORMER
- ⊕ GAS METER
- ⊕ WATER VALVE
- POWER POLE
- SEWER CLEAN OUT
- * LIGHT POLE
- ⊕ SEWER MAN HOLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ WELL
- x-x- FENCE
- o- OVERHEAD UTILITY
- ▨ CONCRETE

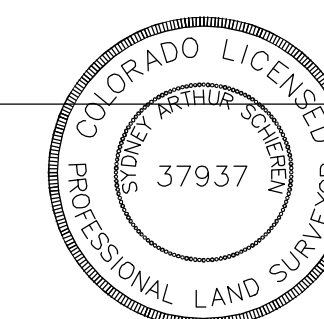
GENERAL NOTES

- 1) ELEVATIONS DEPICTED HEREON ARE BASED ON NAVD88.
- 2) CONTOUR INTERVAL = 1'
- 3) SITE BENCHMARKS ARE A 1½" ALUMINUM CAP ON A #5 REBAR STAMPED (LS 37937) ALONG THE NORTHERLY RIGHT-OF-WAY OF CHAFFEE COUNTY ROAD NO. 105 (OLD STAGE ROAD) WITH AN ELEVATION OF 7022.36' AND A 1½" ALUMINUM CAP ON A #5 REBAR STAMPED (LS 16117) ALONG THE NORTHERLY BOUNDARY OF THE SUBJECT PROPERTY WITH AN ELEVATION OF 7028.64'.
- 4) FIELDWORK PERFORMED ON MAY 2, 2019.
- 5) THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY LANDMARK SURVEYING AND MAPPING TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING TITLE OF RECORD, LANDMARK SURVEYING AND MAPPING RELIED UPON DOCUMENTS PROVIDED BY THE CLIENT. EASEMENTS OF RECORD WERE NOT SHOWN PER CLIENT'S REQUEST.
- 6) THIS TOPOGRAPHIC SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY. BOUNDARY SHOWN HEREON BASED UPON THE PLAT TITLED "TREAT-MESCH ANNEXATION PLAT" AS PREPARED BY HENDERSON LAND SURVEYING CO., INC., DATED JULY 26, 2018.

LAND SURVEYOR'S CERTIFICATE

I, SYDNEY A. SCHIEREN, A REGISTERED LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS LAND SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION, AND THAT THE PLAT REPRESENTS THE RESULTS OF SAID SURVEY AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

SYDNEY A. SCHIEREN
COLORADO P.L.S. 37937



REVISED:
JOB # 1974
DATE: MAY 16, 2019
SHEET 1 OF 1

MESCH TOPOGRAPHIC SURVEY

LOCATED WITHIN THE S½ NE¼ SW¼ OF
SECTION 4, TOWNSHIP 49 NORTH,
RANGE 9 EAST OF THE N.M.P.M.
CITY OF SALIDA, CHAFFEE COUNTY,
COLORADO



NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BE BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE SURVEYOR'S STATEMENT CONTAINED HEREON.

RIVER RIDGE

CIVIL ENGINEERING PLANS

SALIDA, COLORADO
AUGUST, 2019

GENERAL NOTES:

- ANY CHANGES FROM THE PLAN, STANDARD NOTES, STANDARD DESIGNS, OR SPECIFICATIONS SHALL BE CONSIDERED NON-COMFORMING UNLESS APPROVED IN WRITING BY THE ENGINEER. INSTALLATIONS NOT CONFORMING TO THE ABOVE SHALL BE REMOVED AND REPLACED AND/OR CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR ALL MATERIALS A MINIMUM OF 1 WEEK PRIOR TO START OF CONSTRUCTION FOR REVIEW AND APPROVAL BY THE ENGINEER. ANY MATERIALS NOT RECEIVING APPROVAL PRIOR TO INSTALLATION MAY BE DISALLOWED FOR PAYMENT AND/OR BE REQUIRED TO BE REMOVED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL PROVIDE CONSTRUCTION STAKING FOR ALL ALIGNMENTS AND GRADES BY A LICENSED SURVEYOR. CONSTRUCTION SURVEYING AND FIELD STAKES SHALL UTILIZE THE SAME HORIZONTAL AND VERTICAL DATUMS AND BASIS OF BEARING AS THE DESIGN.
- THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND MONUMENTS OF EVERY NATURE, WHETHER SHOWN HEREON OR NOT, AND PROTECT FROM DAMAGE. THE CONTRACTOR SHALL BEAR THE TOTAL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES AND MONUMENTS DAMAGED OR DESTROYED.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS INCLUDING BUT NOT LIMITED TO:
 - OSHA REGULATIONS
 - NPDES STORMWATER REGULATIONS
 - LOCAL, STATE, AND FEDERAL PERMITS
 - CLEAN WATER ACT
 - INTERNATIONAL PLUMBING CODE
- THE CONTRACTOR SHALL WARRANT ALL WORK FOR A PERIOD OF ONE YEAR COMMENCING FROM THE TIME OF SUBSTANTIAL COMPLETION AS DEFINED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND REPLACEMENT OF ALL FAILURES DETERMINED BY THE ENGINEER TO BE CAUSED BY MATERIAL OR WORKMANSHIP DURING THE WARRANTY PERIOD.
- THE CONTRACTOR SHALL MAINTAIN A SET OF PLANS ON THE JOB SITE AT ALL TIMES AND PROVIDE SUBCONTRACTORS WITH A SET OF PLANS. THE CONTRACTOR SHALL MAINTAIN A RED-LINED SET OF PLANS, INDICATING ALL CONSTRUCTION CHANGES, AND KEEP IT UP TO DATE AT ALL TIMES. INCOMPLETE REDLINES SHALL BE SUFFICIENT CAUSE FOR REJECTION OF PAYMENT APPLICATIONS. A COMPLETED RED LINE SET SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO FINAL PAYMENT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CONSTRUCTION CONTRACT, THESE PLANS AND THE APPLICABLE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE RESPECTIVE UTILITY OWNER IN FORCE AT THE TIME OF THE BID AWARD AS INDICATED BELOW:
 - SEWER: CITY OF SALIDA CONSTRUCTION STANDARDS AND SPECIFICATIONS
 - WATER: CITY OF SALIDA CONSTRUCTION STANDARDS AND SPECIFICATIONS
 - STREETS: CITY OF SALIDA CONSTRUCTION STANDARDS AND SPECIFICATIONS
 - DITCHES: RESPECTIVE DITCH OWNER STANDARDS AND DITCH AGREEMENTS
- RETESTING REQUIRED DUE TO FAILED MATERIAL TESTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROVIDE PRIVATE RESIDENCES NOTICE A MINIMUM OF 48 HOURS PRIOR TO COMMENCING WORK THAT WILL IMPACT ACCESS OR SERVICES TO THEIR PROPERTIES.
- CONTRACTOR SHALL PROVIDE THE RESPECTIVE UTILITY OWNERS NOTICE A MINIMUM OF 7 DAYS PRIOR TO COMMENCING WORK THAT WILL IMPACT PUBLIC ACCESS OR SERVICES.
- THE CONTRACTOR SHALL AT ALL TIMES MAINTAIN PROPER BARRICADING, DUST CONTROL, TRAFFIC CONTROL, SHORING AND SAFETY MEASURES OF EVERY NATURE.
- THE CONTRACTOR SHALL OBTAIN WRITTEN AGREEMENT TO UTILIZE OFF-SITE PROPERTIES FOR STAGING OR STORAGE OF MATERIALS. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MINIMIZE ANY NUISANCE CONDITIONS ARISING FROM THEIR STAGING AND MATERIAL STORAGE AREAS.
- THE CONTRACTOR SHALL COORDINATE WITH THE PUBLIC WORKS DEPARTMENT TO ARRANGE FOR ANY CONSTRUCTION WATER NEEDED PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN FOR APPROVAL BY THE CITY, WHICH MUST BE APPROVED PRIOR TO COMMENCING WITH THE WORK.
- THE CONTRACTOR SHALL SCHEDULE THE WORK TO MINIMIZE THE DISTURBANCE OF MAIL DELIVERY TO ALL AFFECTED ADDRESSES. WHEN NECESSARY, CONTRACTOR SHALL NOTIFY EXISTING RESIDENCES OF IMPENDING DISTURBANCE A MINIMUM OF ONE WEEK PRIOR TO REMOVING/OBSTRUCTING MAILBOXES.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING OR REPAIRING ANY DAMAGE TO PRIVATE PROPERTY IMPROVEMENTS AND FOR FINAL CLEAN UP AND STREET SWEEPING OF THE JOB SITE.

BASIS OF BEARINGS:

GRID NORTH FROM COLORADO STATE PLANE COORDINATE SYSTEM CENTRAL ZONE



VICINITY MAP
(NO SCALE)

Sheet List Table

Sheet Number	Sheet Title	Sheet Number	Sheet Title
12	SEWER COVER SHET	12	SEWER COVER SHET
13	SEWER DETAILS	13	SEWER DETAILS
14	SEWER PLANS: RIVER RIDGE LANE SEWER	14	SEWER PLANS: RIVER RIDGE LANE SEWER
15	STA 1+00.00 TO STA 6+00.00	15	STA 1+00.00 TO STA 6+00.00
16	STA 6+00.00 TO STA 11+00.00	16	STA 6+00.00 TO STA 11+00.00
17	SEWER PLANS: TREAT LANE SEWER	17	SEWER PLANS: TREAT LANE SEWER
18	STA 1+00.00 TO STA 3+87.22	18	STA 1+00.00 TO STA 3+87.22
19	SEWER PLANS: ALLEY SEWER	19	SEWER PLANS: ALLEY SEWER
20	STA 1+00.00 TO STA 6+00.00	20	STA 1+00.00 TO STA 6+00.00
21	STA 6+00.00 TO STA 11+81.97	21	STA 6+00.00 TO STA 11+81.97
22	WATER PLANS	22	WATER PLANS
23	WATER COVER SHEET	23	WATER COVER SHEET
24	WATER DETAILS	24	WATER DETAILS
25	WATER PLANS: WATER LINE A	25	WATER PLANS: WATER LINE A
26	STA 1+00.00 TO STA 6+00.00	26	STA 1+00.00 TO STA 6+00.00
27	STA 6+00.00 TO STA 11+81.97	27	STA 6+00.00 TO STA 11+81.97
28	WATER PLANS: WATER LINE B	28	WATER PLANS: WATER LINE B
29	STA 1+00.00 TO STA 3+85.50	29	STA 1+00.00 TO STA 3+85.50
30	WATER PLANS: WATER LINE C	30	WATER PLANS: WATER LINE C
31	STA 1+00.00 TO STA 5+95.38	31	STA 1+00.00 TO STA 5+95.38
32	WATER PLANS: CR 105 WATER PLAN	32	WATER PLANS: CR 105 WATER PLAN
33	CR 105 WATER	33	CR 105 WATER

BEFORE YOU DIG, CALL: 811

IT'S THE LAW! CALL AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATING.

DIG ALERT

UTILITY NOTIFICATION CENTER OF COLORADO

FOR WATER EMERGENCIES, WATER LEAKS, OR DAMAGED PIPELINES, THE CONTRACTOR SHALL CALL: SALIDA PUBLIC WORKS - (719) 539-6257

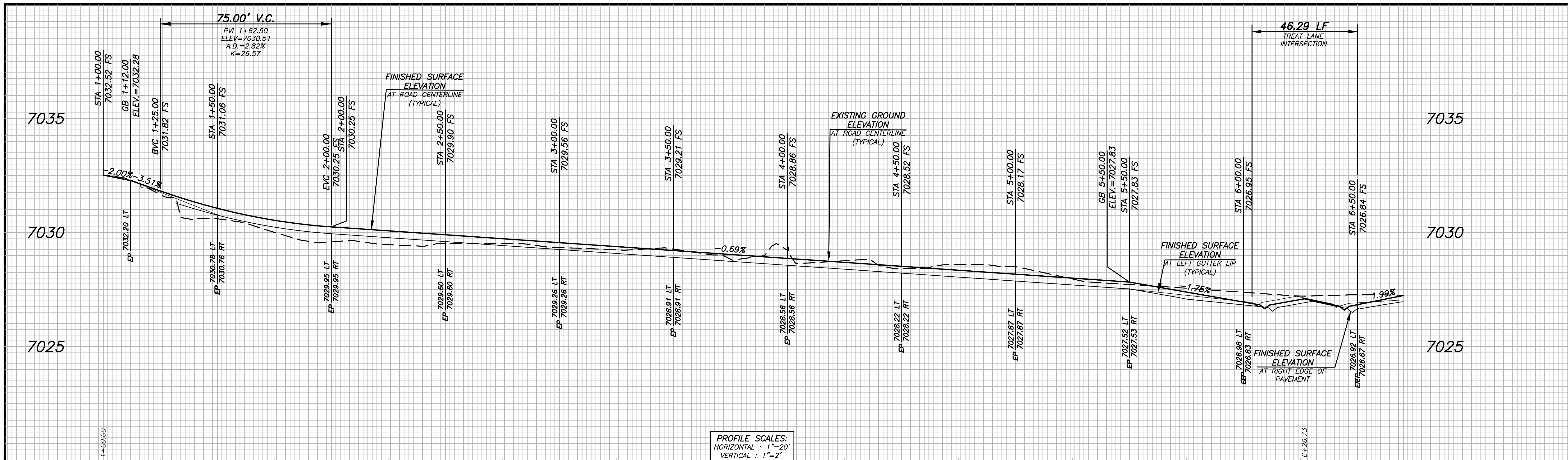
LEGEND

	EDGE OF NEW ROADWAY
	EDGE OF EXISTING ROADWAY
	EXISTING RIGHT-OF-WAY
	NEW ROAD CENTERLINE
	EXISTING ROAD CENTERLINE
	EXISTING LOT/PROPERTY LINE
	NEW DITCH/SWALE
	EXISTING FENCE LINE
	EXISTING SEWER MAIN
	NEW WATER MAIN (SIZE PER PLAN)
	EXISTING OVERHEAD ELECTRIC/TELEPHONE LINE
	EXISTING WATER MAIN
	EXISTING UNDERGROUND TELEPHONE/ELECTRIC LINE
	EXISTING UNDERGROUND GAS LINE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	NEW RIBBON GUTTER
	LIMITS OF ASPHALT/CONCRETE PATCHING (AS NOTED ON PLAN)
	EXISTING CURB & GUTTER
	EXISTING VERTICAL CURB
	NEW/EXISTING UTILITY POLE
	NEW/EXISTING STREET LIGHT
	NEW/EXISTING TRAFFIC SIGN
	NEW/EXISTING HANDICAP PAVEMENT MARKING
	NEW/EXISTING GRADIENT
	NEW/EXISTING SPOT ELEVATION
	NEW/EXISTING FIRE HYDRANT ASSEMBLY
	NEW/EXISTING "TEE" (SIZE PER PLAN)
	NEW/EXISTING VALVE (SIZE PER PLAN)
	NEW/EXISTING SEWER MANHOLE
	NEW/EXISTING SEWER SERVICE LINE
	CONSTRUCTION NOTE CALL-OUT
	CURVE DATA CALL-OUT
	LINE DATA CALL-OUT
	BEGIN CURVE
	BEGIN CURB RETURN
	CENTERLINE
	CUBIC YARDS
	END CURVE
	END CURB RETURN
	EXISTING GROUND
	EXISTING
	FINISHED GROUND
	FLOWLINE
	FINISHED SURFACE
	GRADE BREAK
	LINEAR FEET
	RIGHT-OF-WAY
	SQUARE FEET
	STANDARD
	TOP OF CURB
	TOP OF MANHOLE
	TYPICAL

ISSUED FOR REVIEW 8/26/19

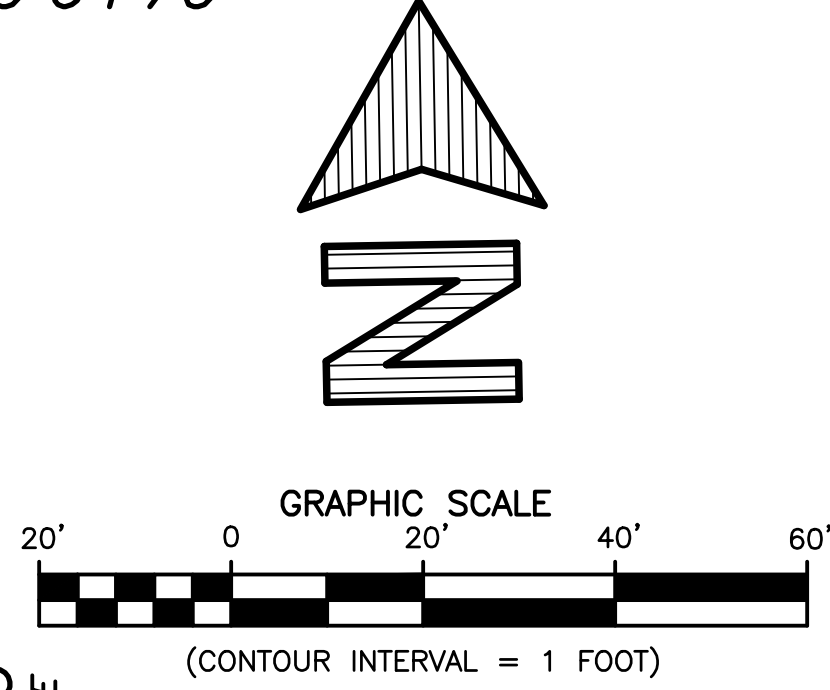
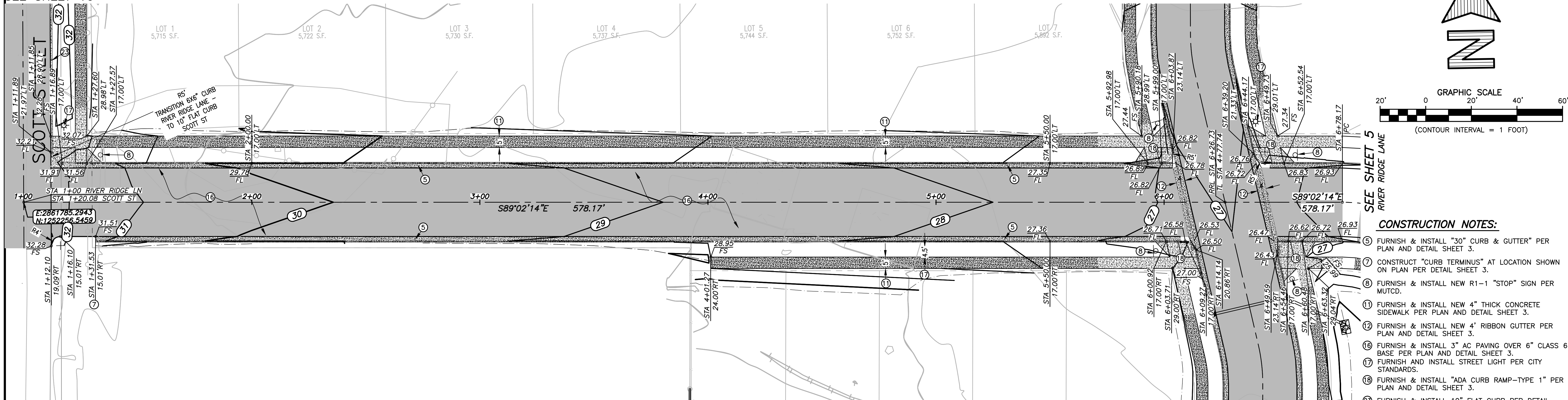
PRIVATE ENGINEER'S NOTES TO CONTRACTOR	PREPARED FOR:	PREPARED BY:	SEAL	CITY OF SALIDA	RIVER RIDGE	SHEET NO.
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE COUNTY, THE CITY, THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.	ARKANSAS RIVER LIVING, LLC 770 CRESCENT LANE LAKEWOOD, CO 80214 PHONE: 303-623-8600	CRABTREE GROUP INC. ENGINEERING SMART GROWTH™ 328 D STREET SALIDA, CO 81201 PH: 719-539-1675 918 CUYAMA ROAD OJAI, CA 93023 PH: 719-221-1799		DESIGNED BY WBH DRAWN BY CNB CHECKED BY WBH SCALE 1"=20' DATE AUG. 2019	APPROVED BY: AGENCY HEAD DATE BENCHMARK: 1 1/2" ALUMINUM CAP AT SOUTHEAST CORNER OF SUBJECT PROPERTY STAMPED L517117, HAVING AN ELEVATION OF 7022.36	18031
	TRACY L VANDAVEER L.C.E. NO. 38552	CRABTREE GROUP, INC EXP. DATE 10/31/19	DATE BY MARK ENGINEER	REVISIONS	CIVIL PLANS CIVIL COVER SHEET VICINITY MAP, GENERAL NOTES, LEGEND	1 OF 24 SHEETS PROJECT NO. 18031

RIVER RIDGE - CIVIL ENGINEERING ISSUED FOR REVIEW



PROFILE SCALES:
HORIZONTAL : 1"=20'
VERTICAL : 1"=2'

1+00 1+50 2+00 2+50 3+00 3+50 4+00 4+50 5+00 5+50 6+00 6+50 6+70
SCOTT STREET SEE SHEET 10 SEE SHEET 7 TREAT LANE



- CONSTRUCTION NOTES:**
- ⑤ FURNISH & INSTALL "30" CURB & GUTTER" PER PLAN AND DETAIL SHEET 3.
 - ⑦ CONSTRUCT "CURB TERMINUS" AT LOCATION SHOWN ON PLAN PER DETAIL SHEET 3.
 - ⑧ FURNISH & INSTALL NEW R1-1 "STOP" SIGN PER MUTCD.
 - ⑩ FURNISH & INSTALL NEW 4" THICK CONCRETE SIDEWALK PER PLAN AND DETAIL SHEET 3.
 - ⑫ FURNISH & INSTALL NEW 4' RIBBON GUTTER PER PLAN AND DETAIL SHEET 3.
 - ⑬ FURNISH & INSTALL 3" AC PAVING OVER 6" CLASS 6 BASE PER PLAN AND DETAIL SHEET 3.
 - ⑰ FURNISH AND INSTALL STREET LIGHT PER CITY STANDARDS.
 - ⑱ FURNISH & INSTALL "ADA CURB RAMP-TYPE 1" PER PLAN AND DETAIL SHEET 3.
 - ⑳ FURNISH & INSTALL 10" FLAT CURB PER DETAIL SHEET 3.

RIVER RIDGE LANE
STA 1+00.00 TO STA 6+00.00

SEE SHEET 6
TREAT LANE

ISSUED FOR REVIEW 8/26/19

PRIVATE ENGINEER'S NOTES TO CONTRACTOR
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PREPARED FOR:
ARKANSAS RIVER LIVING, LLC
770 CRESCENT LANE
LAKEWOOD, CO 80214
PHONE: 303-623-8600

PREPARED UNDER THE DIRECTION OF:
DATE _____

TRACY L VANDAVEER CRABTREE GROUP, INC
L.C.E. NO. 38552 EXP. DATE 10/31/19

PREPARED BY:
CRABTREE GROUP INC.
ENGINEERING SMART GROWTH™

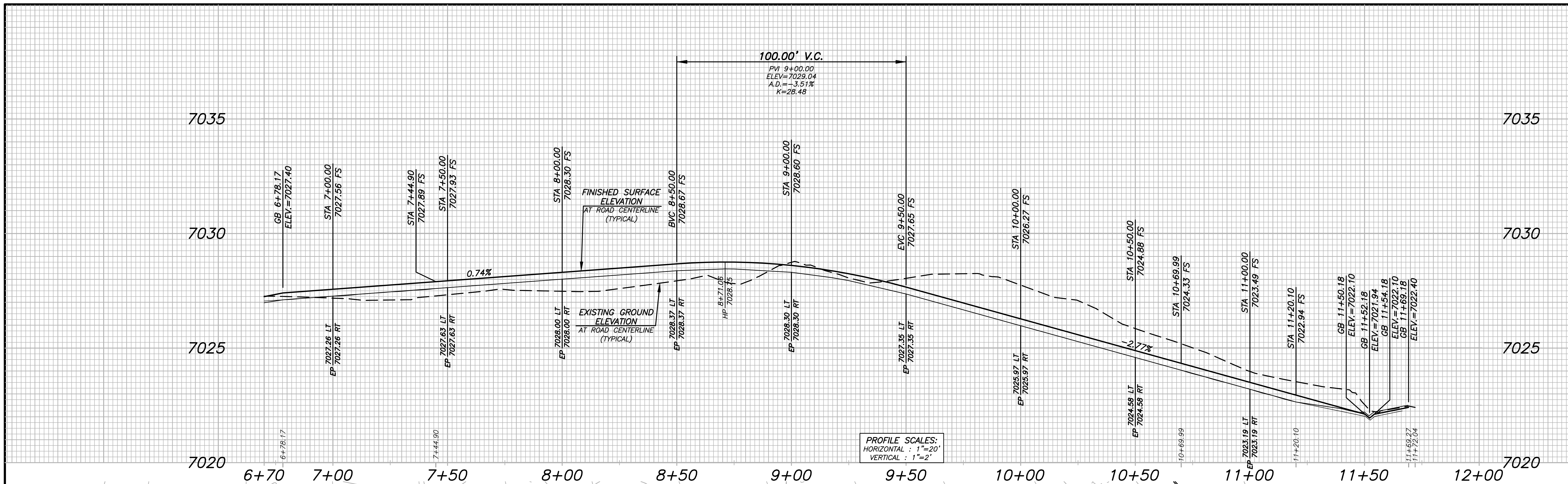
328 D STREET SALIDA, CO 81201 PH: 719-539-1875
918 CUYAMA ROAD OJAI, CA 93023 PH: 719-221-1799

DATE	BY	MARK	ENGINEER

CITY OF SALIDA	
DESIGNED BY	WBH
DRAWN BY	CNB
CHECKED BY	WBH
SCALE	1"=20'
DATE	AUG. 2019
APPR. DATE	
REVISION AGENCY	

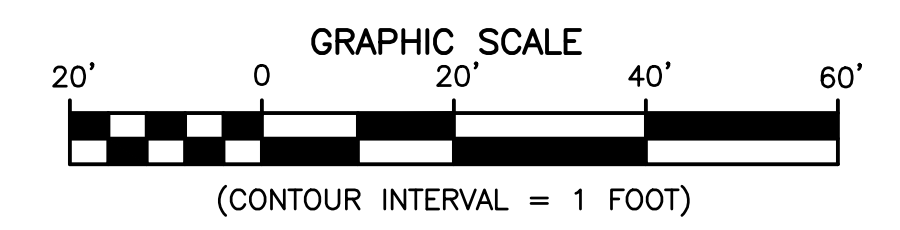
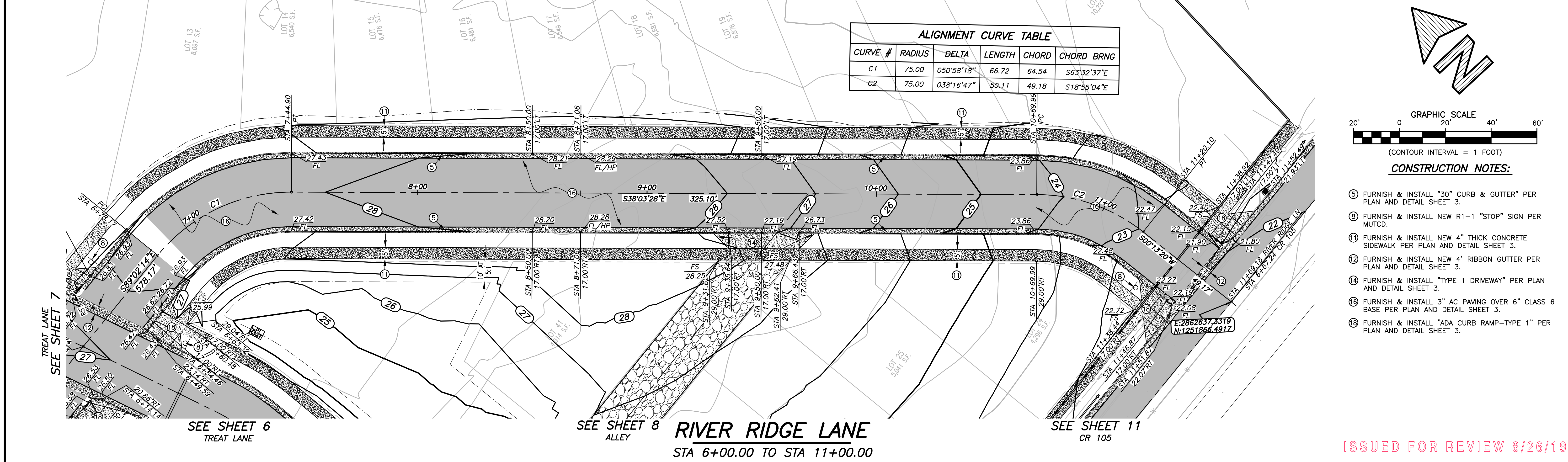
RIVER RIDGE
SALIDA, CO
STREET PLAN & PROFILE
RIVER RIDGE LANE
STA 1+00.00 TO STA 6+00.00

SHEET NO. **4**
OF 24 SHEETS.
PROJECT NO. 18031



PROFILE SCALES:
 HORIZONTAL : 1"=20'
 VERTICAL : 1"=2'

ALIGNMENT CURVE TABLE					
CURVE #	RADIUS	DELTA	LENGTH	CHORD	CHORD BRNG
C1	75.00	050°58'18"	66.72	64.54	S63°32'37"E
C2	75.00	038°16'47"	50.11	49.18	S18°56'04"E



CONSTRUCTION NOTES:

- ⑤ FURNISH & INSTALL "30" CURB & GUTTER" PER PLAN AND DETAIL SHEET 3.
- ⑧ FURNISH & INSTALL NEW R1-1 "STOP" SIGN PER MUTCD.
- ⑪ FURNISH & INSTALL NEW 4" THICK CONCRETE SIDEWALK PER PLAN AND DETAIL SHEET 3.
- ⑫ FURNISH & INSTALL NEW 4" RIBBON GUTTER PER PLAN AND DETAIL SHEET 3.
- ⑭ FURNISH & INSTALL "TYPE 1 DRIVEWAY" PER PLAN AND DETAIL SHEET 3.
- ⑯ FURNISH & INSTALL 3" AC PAVING OVER 6" CLASS 6 BASE PER PLAN AND DETAIL SHEET 3.
- ⑰ FURNISH & INSTALL "ADA CURB RAMP-TYPE 1" PER PLAN AND DETAIL SHEET 3.


ISSUED FOR REVIEW 8/26/19

PRIVATE ENGINEER'S NOTES TO CONTRACTOR
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PREPARED FOR:
ARKANSAS RIVER LIVING, LLC
 770 CRESCENT LANE
 LAKEWOOD, CO 80214
 PHONE: 303-623-8600

PREPARED UNDER THE DIRECTION OF:
 _____ DATE _____

TRACY L VANDAEER CRABTREE GROUP, INC
 L.C.E. NO. 38552 EXP. DATE 10/31/19

PREPARED BY:

CRABTREE GROUP INC.
 ENGINEERING SMART GROWTH™

328 D STREET 918 CUYAMA ROAD
 SALIDA, CO 81201 OJAI, CA 91028
 PH: 719-539-1875 PH: 719-221-1799

SEAL

DATE BY MARK

ENGINEER

REVISIONS		APPR.	DATE

CITY OF SALIDA

DESIGNED BY **WBH** APPROVED BY: _____

DRAWN BY **CNB**

CHECKED BY **WBH** AGENCY HEAD DATE

SCALE 1"=20' BENCHMARK: 1 1/2" ALUMINUM CAP AT SOUTHEAST CORNER OF SUBJECT PROPERTY STAMPED LS17117, HAVING AN ELEVATION OF 7022.36

DATE **AUG. 2019**

RIVER RIDGE
 SALIDA, CO

RIVER RIDGE LANE
 STA 6+00.00 TO STA 11+00.00

SHEET NO. **5**
 OF 24 SHTS.
 PROJECT NO. **18031**

7035

7035

7030

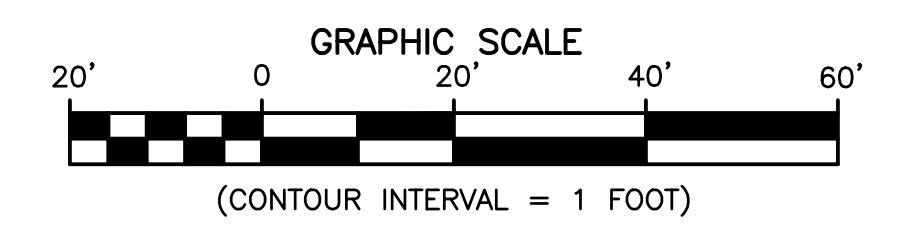
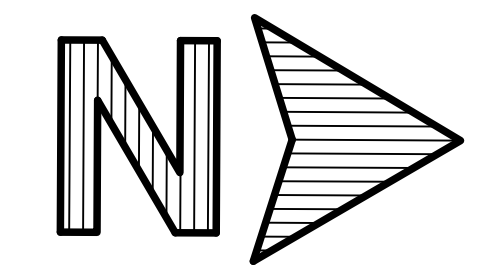
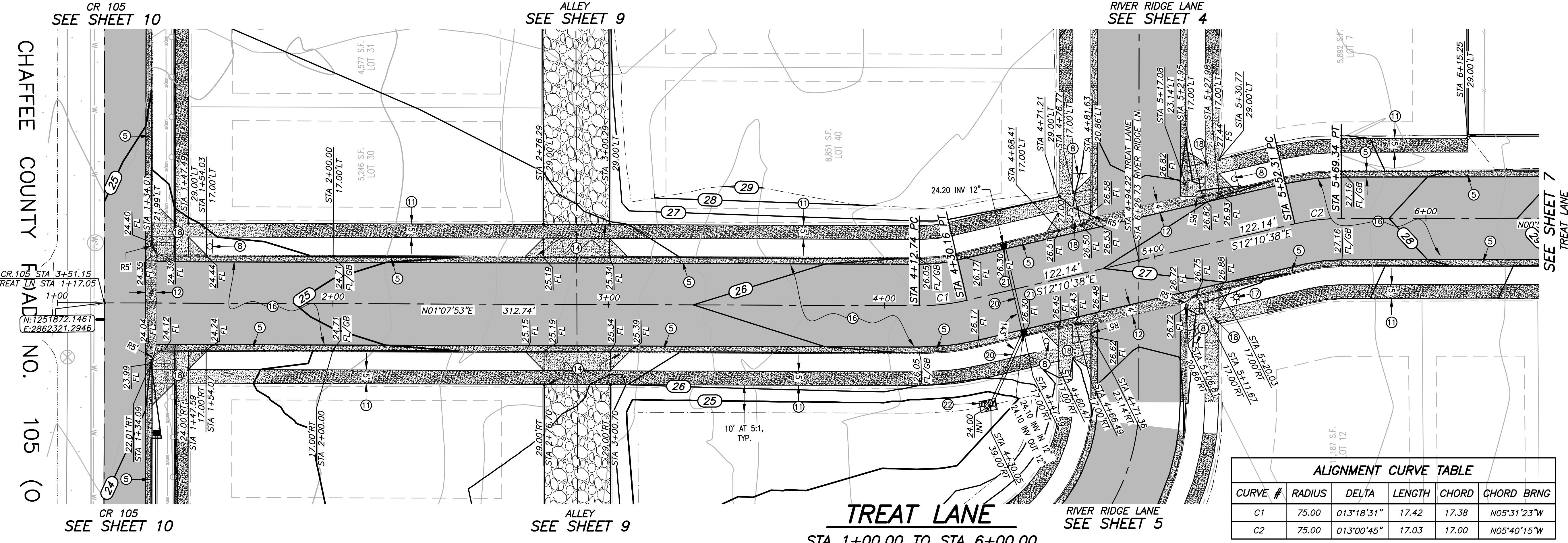
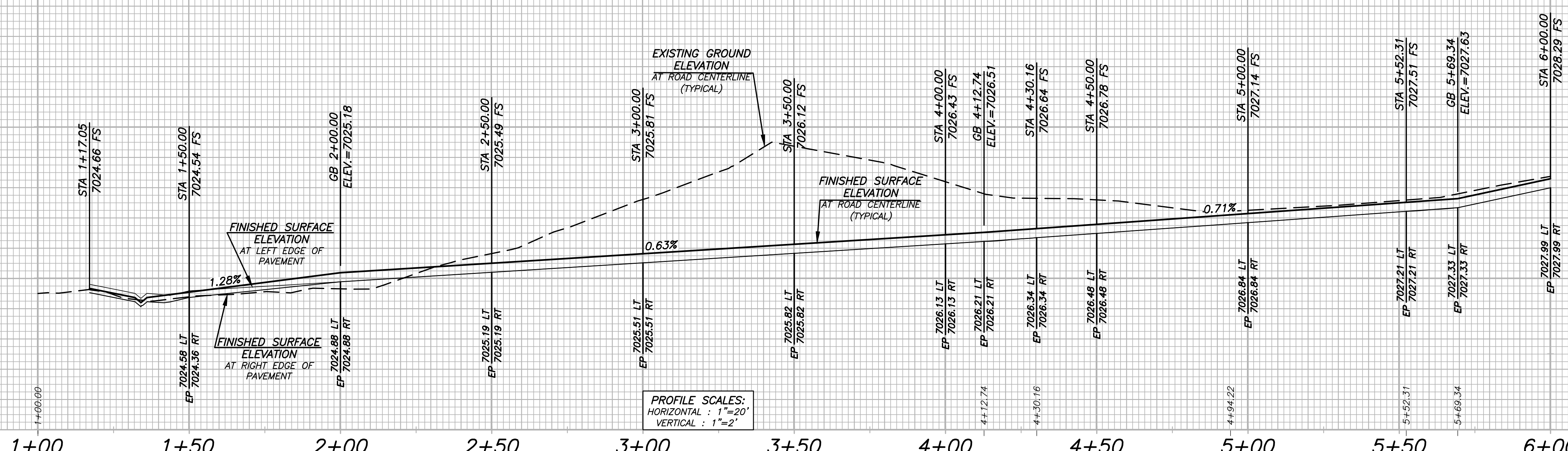
7030

7025

7025

7020

7020



CONSTRUCTION NOTES:

- ⑤ FURNISH & INSTALL "30" CURB & GUTTER" PER PLAN AND DETAIL SHEET 3.
- ⑧ FURNISH & INSTALL NEW R1-1 "STOP" SIGN PER MUTCD.
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- ⑰ FURNISH AND INSTALL STREET LIGHT PER CITY STANDARDS.
- ⑱ FURNISH & INSTALL "ADA CURB RAMP-TYPE 1" PER PLAN AND DETAIL SHEET 3.
- ⑳ FURNISH & INSTALL 12" ADS N12 CULVERT
- ㉑ FURNISH & INSTALL 24" NYLOPLAST DRAIN BASIN WITH CURB GRATE INLET.
- ㉒ FURNISH & INSTALL 4'X6' RIVER ROCK OUTLET CONTROL.

ALIGNMENT CURVE TABLE					
CURVE #	RADIUS	DELTA	LENGTH	CHORD	CHORD BRNG
C1	75.00	013°18'31"	17.42	17.38	N05°31'23"W
C2	75.00	013°00'45"	17.03	17.00	N05°40'15"W

ISSUED FOR REVIEW 8/26/19

PRIVATE ENGINEER'S NOTES TO CONTRACTOR
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PREPARED FOR:
ARKANSAS RIVER LIVING, LLC
 770 CRESCENT LANE
 LAKEWOOD, CO 80214
 PHONE: 303-623-8600

PREPARED UNDER THE DIRECTION OF:
 DATE _____

TRACY L VANDAVEER CRABTREE GROUP, INC
 L.C.E. NO. 38552 EXP. DATE 10/31/19

PREPARED BY:

CRABTREE GROUP INC.
 ENGINEERING SMART GROWTH™

328 D STREET 918 CUYAMA ROAD
 SALIDA, CO 81201 OJAI, CA 91028
 PH: 719-539-1875 PH: 719-221-1799

SEAL

DATE _____ BY _____ MARK _____
 ENGINEER

STA 1+00.00 TO STA 6+00.00

NO.	DATE	BY	MARK	REVISIONS

APPR. DATE _____
 REVISION AGENCY _____

CITY OF SALIDA

DESIGNED BY **WBH** APPROVED BY: _____
 DRAWN BY **CNB**
 CHECKED BY **WBH** AGENCY HEAD DATE _____

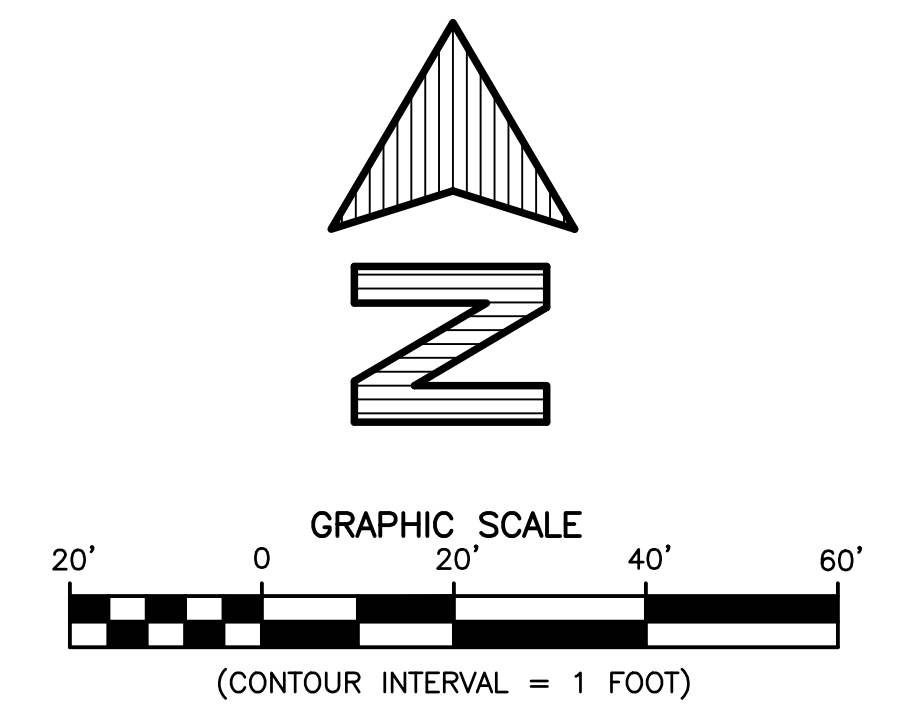
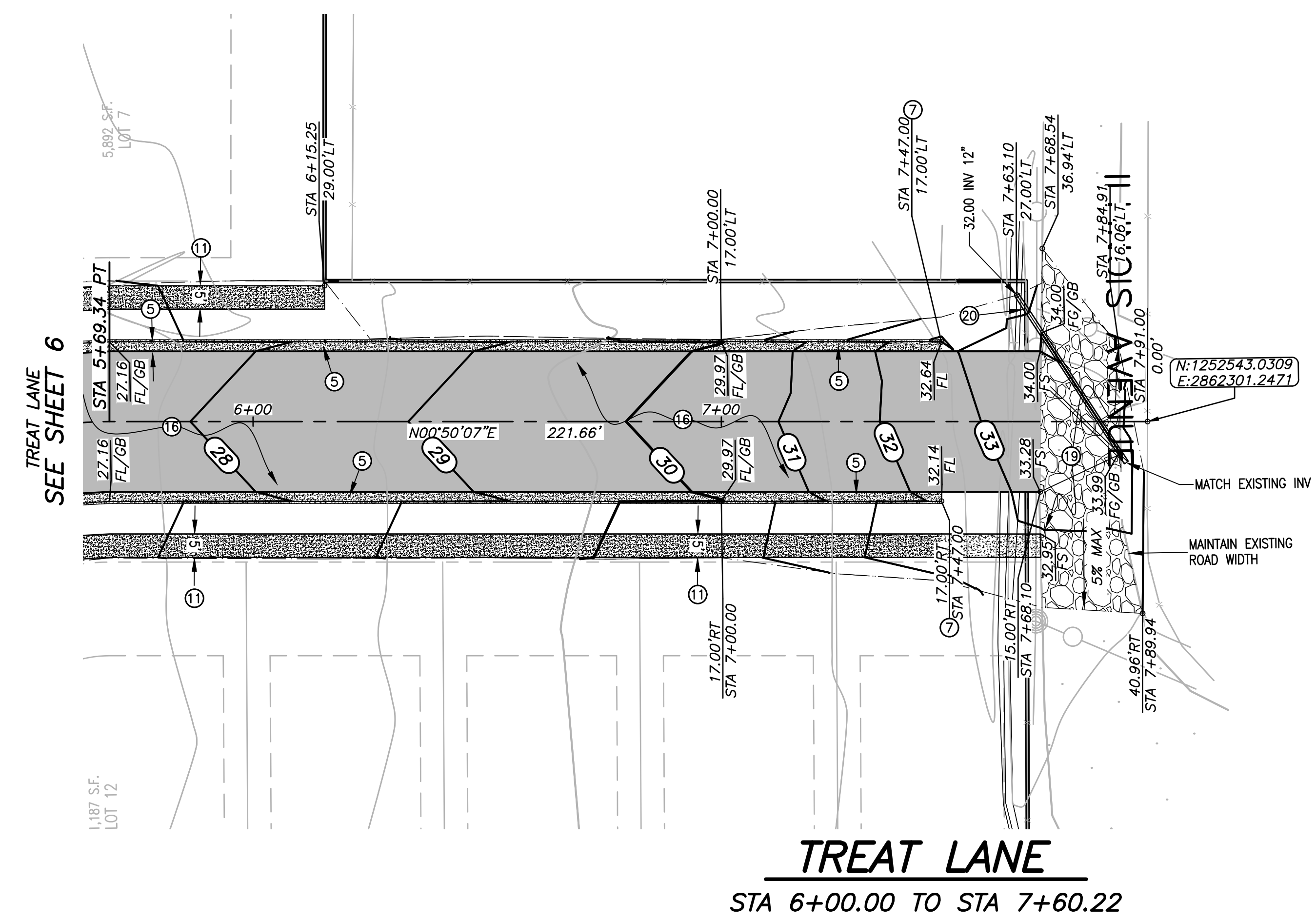
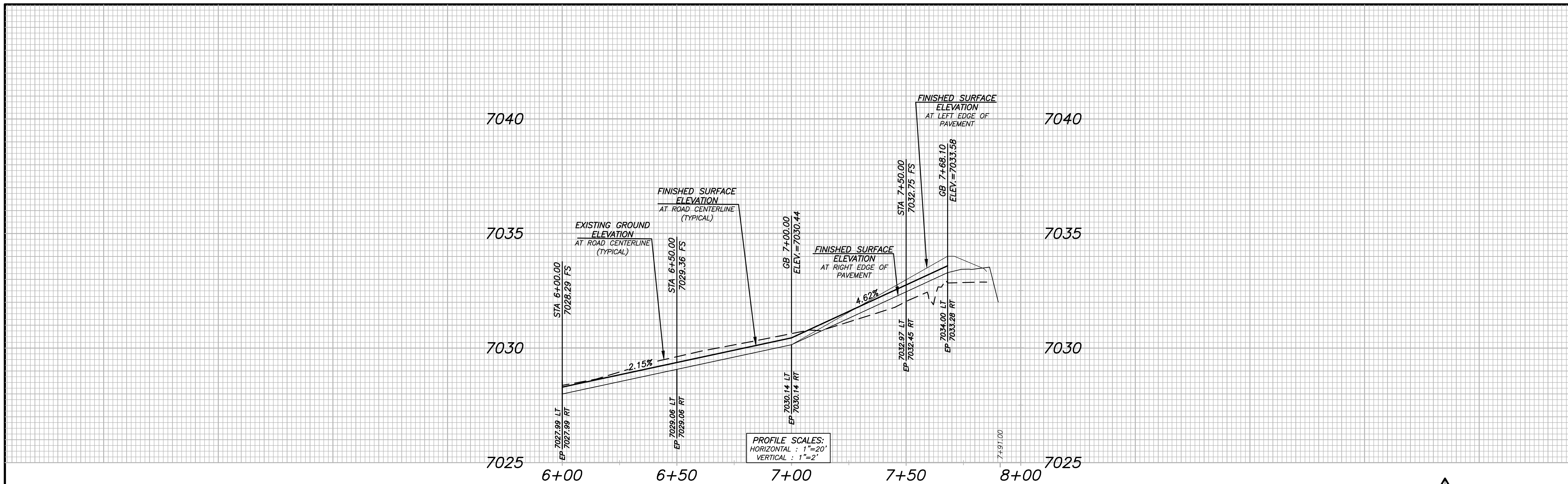
SCALE 1"=20' BENCHMARK: 1 1/2" ALUMINUM CAP AT SOUTHEAST CORNER OF SUBJECT PROPERTY STAMPED LS17117, HAVING AN ELEVATION OF 7022.36

DATE **AUG. 2019**

RIVER RIDGE
 SALIDA, CO

STREET PLAN & PROFILE
TREAT LANE
 STA 1+00.00 TO STA 6+00.00

SHEET NO. **6**
 OF 24 SHEETS.
 PROJECT NO. **18031**



- CONSTRUCTION NOTES:**
- ⑤ FURNISH & INSTALL "30" CURB & GUTTER" PER PLAN AND DETAIL SHEET 3.
 - ⑦ CONSTRUCT "CURB TERMINUS" AT LOCATION SHOWN ON PLAN PER DETAIL SHEET 3.
 - ⑪ FURNISH & INSTALL NEW 4" THICK CONCRETE SIDEWALK PER PLAN AND DETAIL SHEET 3.
 - ⑬ FURNISH & INSTALL 3" AC PAVING OVER 6" CLASS 6 BASE PER PLAN AND DETAIL SHEET 3.
 - ⑭ FURNISH & INSTALL 6" CLASS 6 ROAD BASE.
 - ⑳ FURNISH & 12" ADS N12 CULVERT

TREAT LANE
STA 6+00.00 TO STA 7+60.22

ISSUED FOR REVIEW 8/26/19


PRIVATE ENGINEER'S NOTES TO CONTRACTOR
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PREPARED FOR:
ARKANSAS RIVER LIVING, LLC
770 CRESCENT LANE
LAKEWOOD, CO 80214
PHONE: 303-623-8600

PREPARED UNDER THE DIRECTION OF:
DATE _____

TRACY L VANDAVEER CRABTREE GROUP, INC
L.C.E. NO. 38552 EXP. DATE 10/31/19

PREPARED BY:



CRABTREE GROUP INC.
ENGINEERING SMART GROWTH™

328 D STREET 918 CUYAMA ROAD
SALIDA, CO 81201 OJAI, CA 91028
PH: 719-539-1875 PH: 719-221-1799

SEAL

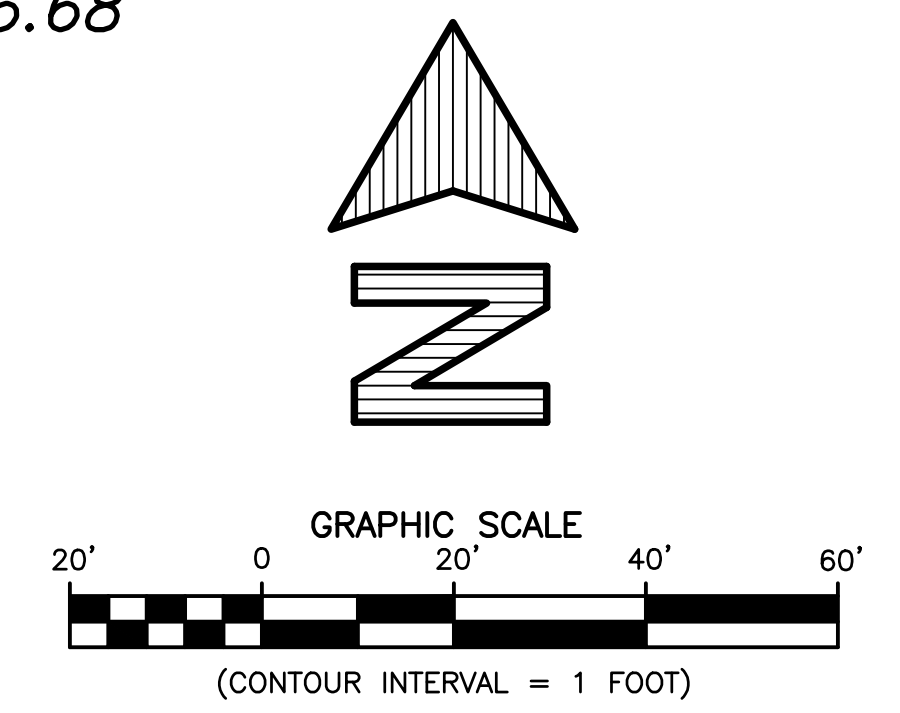
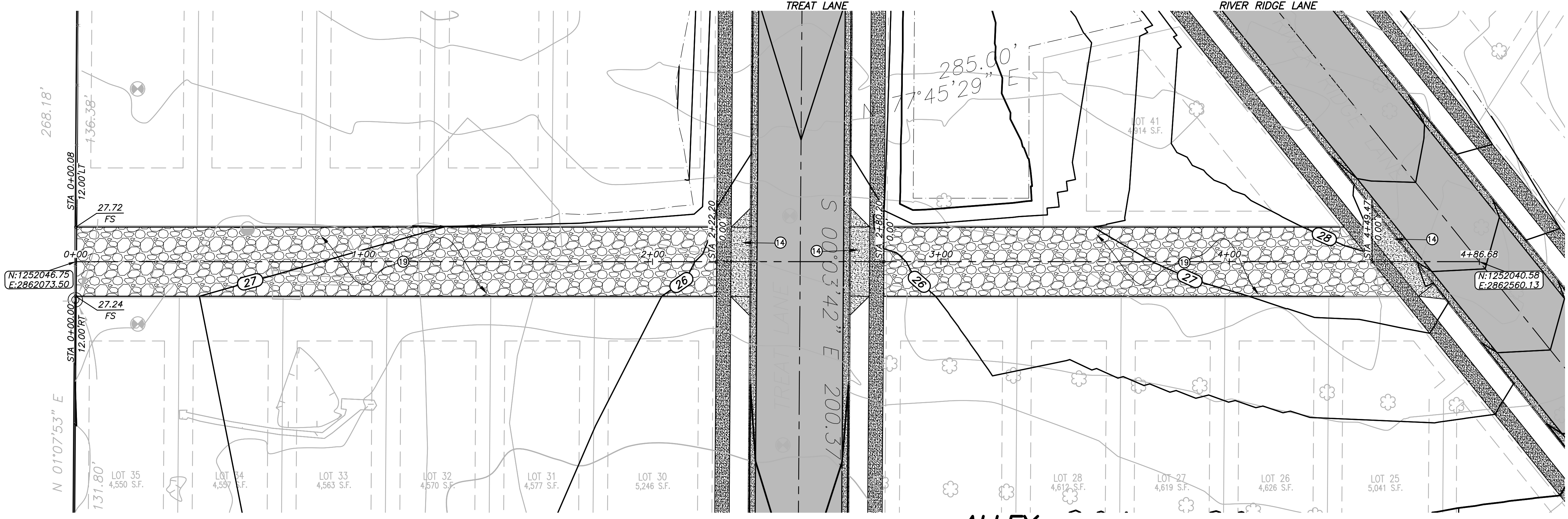
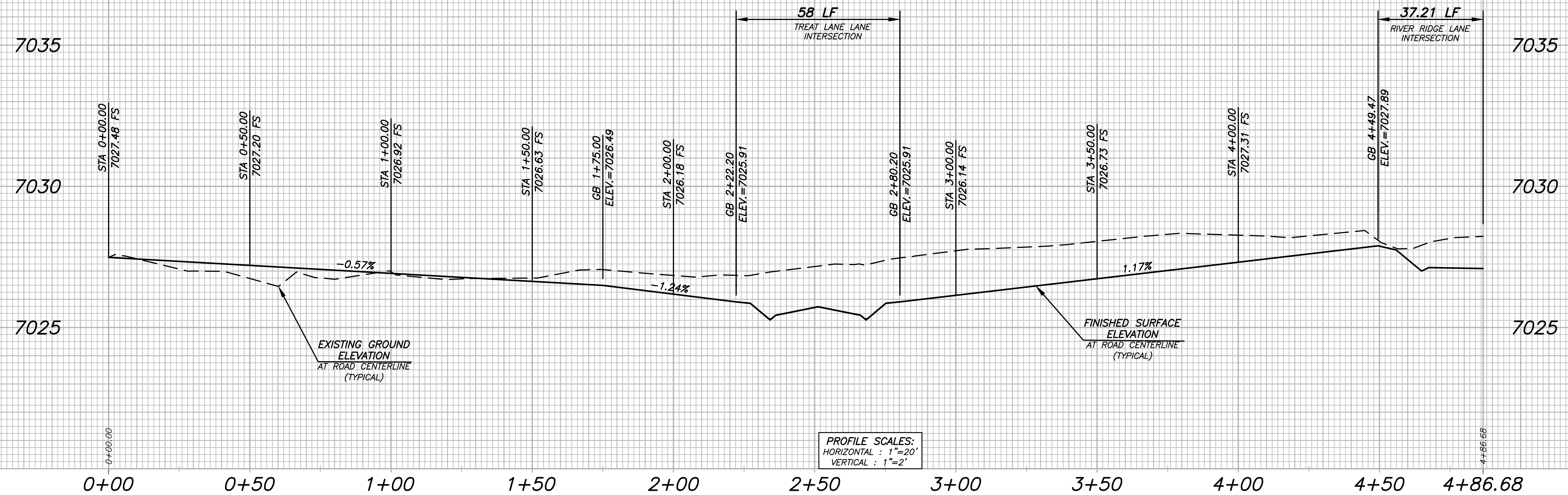
DATE	BY	MARK	REVISIONS

CITY OF SALIDA

DESIGNED BY WBH	APPROVED BY:
DRAWN BY CNB	AGENCY HEAD
CHECKED BY WBH	DATE
SCALE 1"=20'	BENCHMARK: 1 1/2" ALUMINUM CAP AT SOUTHEAST CORNER OF SUBJECT PROPERTY STAMPED LS17117, HAVING AN ELEVATION OF 7022.36
DATE AUG. 2019	REVISION AGENCY

RIVER RIDGE
SALIDA, CO
STREET PLAN & PROFILE
TREAT LANE
STA 6+00.00 TO STA 7+60.22

SHEET NO.
7
OF 24 SHTS.
PROJECT NO.
18031



- CONSTRUCTION NOTES:**
- 14 FURNISH & INSTALL "TYPE 1 DRIVEWAY" PER PLAN AND DETAIL SHEET 5.
 - 19 FURNISH & INSTALL 6" CLASS 6 ROAD BASE.

ISSUED FOR REVIEW 8/26/19

PRIVATE ENGINEER'S NOTES TO CONTRACTOR
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 ARKANSAS RIVER LIVING, LLC
 770 CRESCENT LANE
 LAKEWOOD, CO 80214
 PHONE: 303-623-8600

PREPARED UNDER THE DIRECTION OF:
 DATE _____

TRACY L VANDAVEER CRABTREE GROUP, INC
 L.C.E. NO. 38552 EXP. DATE 10/31/19

PREPARED BY:

CRABTREE GROUP INC.
 ENGINEERING SMART GROWTH™

328 D STREET 918 CUYAMA ROAD
 SALIDA, CO 81201 OJAI, CA 91325
 PH: 719-539-1875 PH: 719-221-1799

SEAL

DATE	BY	MARK	ENGINEER

CITY OF SALIDA	
DESIGNED BY WBH	APPROVED BY:
DRAWN BY CNB	
CHECKED BY WBH	AGENCY HEAD DATE
SCALE 1"=20'	BENCHMARK: 1 1/2" ALUMINUM CAP AT SOUTHEAST CORNER OF SUBJECT PROPERTY STAMPED LS17117, HAVING AN ELEVATION OF 7022.36
DATE AUG. 2019	

RIVER RIDGE
 SALIDA, CO

ALLEY PLAN & PROFILE
ALLEY
 STA 0+00.00 TO STA 4+86.68

SHEET NO.
8
 OF 24 SHTS.
PROJECT NO.
 18031

7035

7035

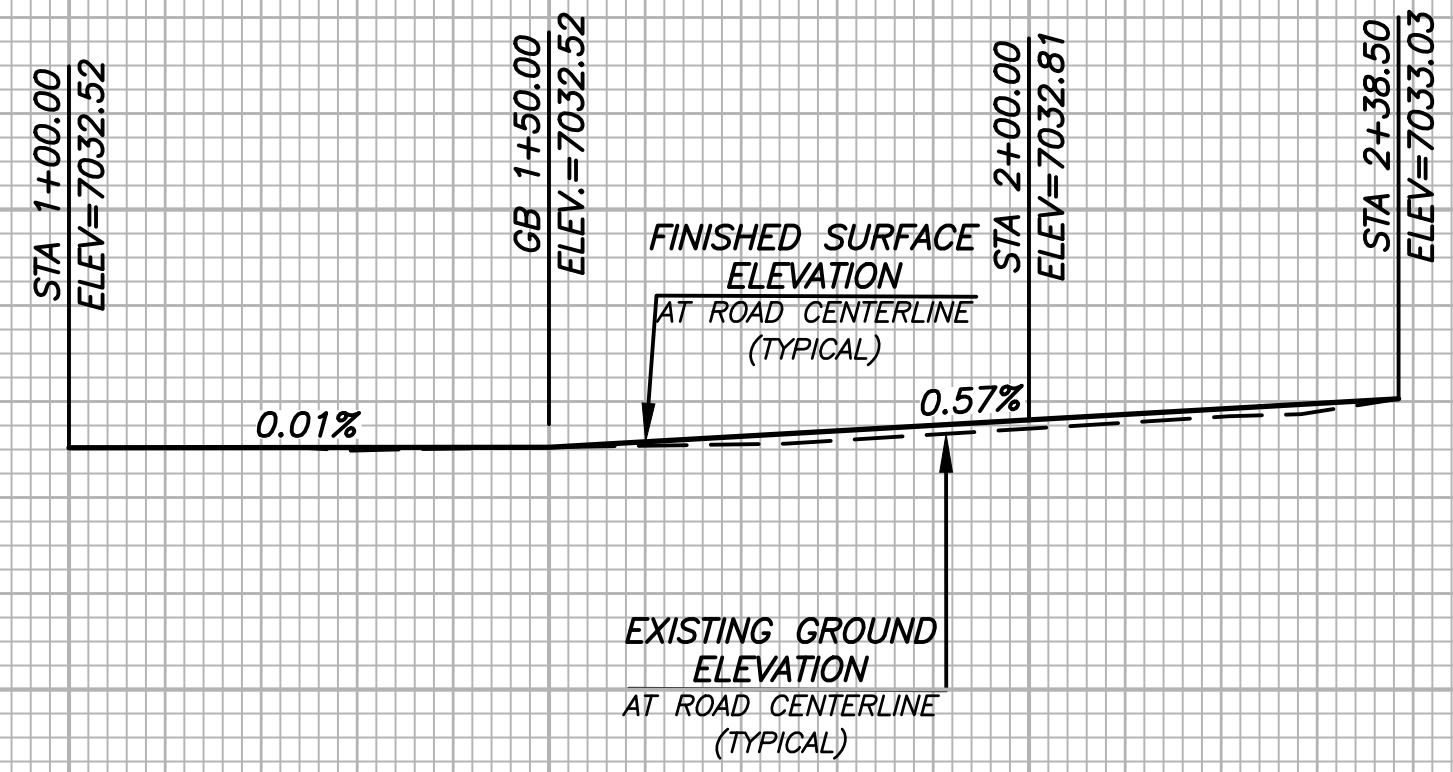
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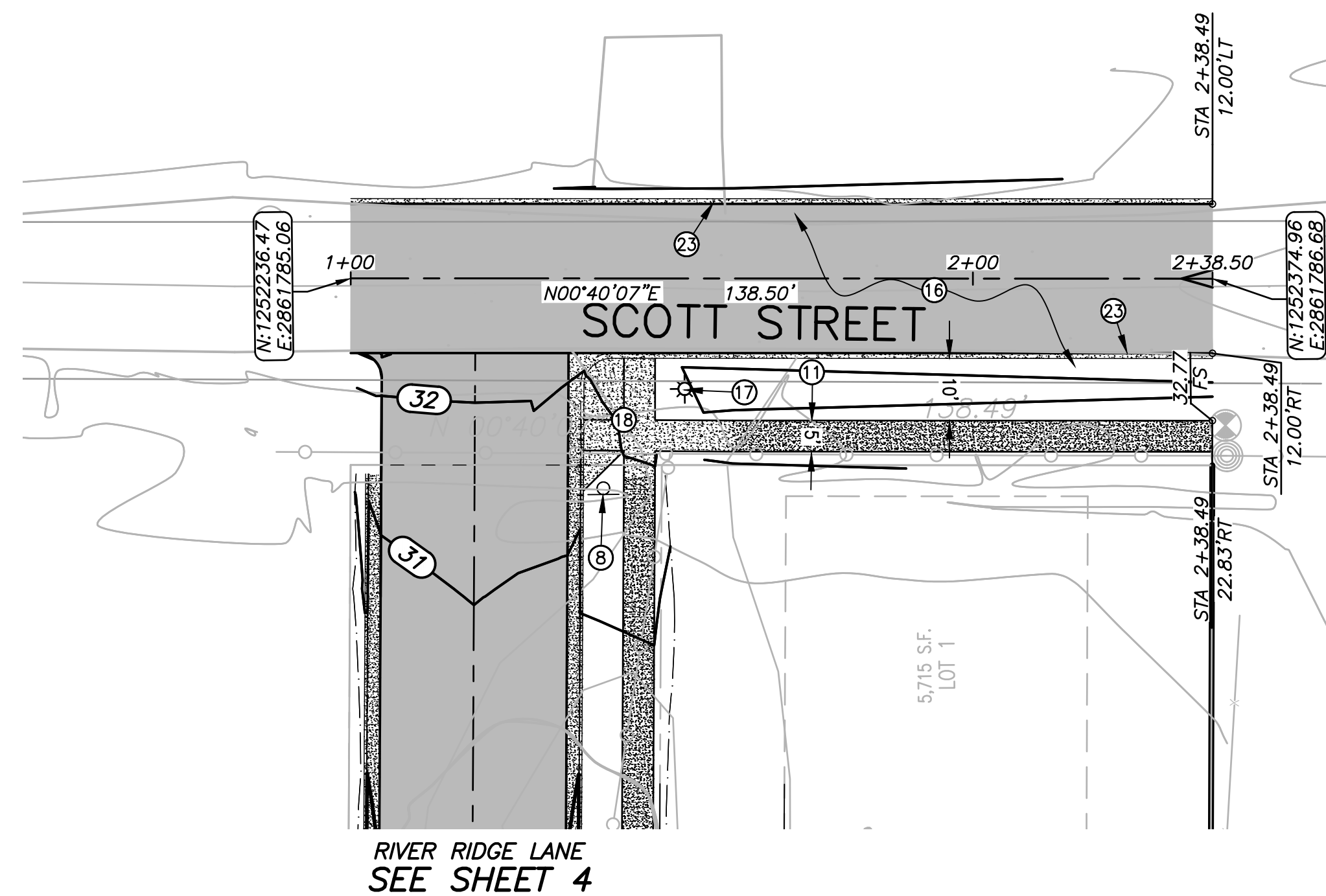
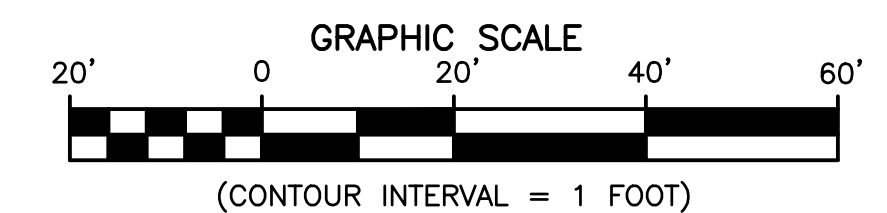
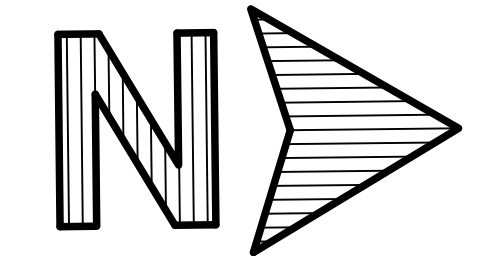
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7025

0+00 0+50 1+00 1+50 2+00 2+50 3+00 3+50



PROFILE SCALES:
 HORIZONTAL : 1"=20'
 VERTICAL : 1"=2'



SCOTT STREET
 STA 0+00.00 TO STA 1+38.45

CONSTRUCTION NOTES:

- ⑤ FURNISH & INSTALL "30" CURB & GUTTER" PER PLAN AND DETAIL SHEET 3.
- ⑦ CONSTRUCT "CURB TERMINUS" AT LOCATION SHOWN ON PLAN PER DETAIL SHEET 3.
- ⑧ FURNISH & INSTALL NEW R1-1 "STOP" SIGN PER MUTCD.
- ⑪ FURNISH & INSTALL NEW 4" THICK CONCRETE SIDEWALK PER PLAN AND DETAIL SHEET 3.
- ⑫ FURNISH & INSTALL 3" AC PAVING OVER 6" CLASS 6 BASE PER PLAN AND DETAIL SHEET 3.
- ⑬ FURNISH AND INSTALL STREET LIGHT PER CITY STANDARDS.
- ⑭ FURNISH & INSTALL "ADA CURB RAMP-TYPE 1" PER PLAN AND DETAIL SHEET 3.
- ⑯ FURNISH & INSTALL 10" FLAT CURB PER DETAIL SHEET 3.

ISSUED FOR REVIEW 8/26/19

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PREPARED FOR:
 ARKANSAS RIVER LIVING, LLC
 770 CRESCENT LANE
 LAKEWOOD, CO 80214
 PHONE: 303-623-8600

PREPARED UNDER THE DIRECTION OF: _____ DATE _____

TRACY L VANDAVEER CRABTREE GROUP, INC
 L.C.E. NO. 38552 EXP. DATE 10/31/19

PREPARED BY:
CRABTREE GROUP INC.
 ENGINEERING SMART GROWTH™

328 D STREET 918 CUYAMA ROAD
 SALIDA, CO 81201 OJAI, CA 93023
 PH: 719-539-1875 PH: 719-221-1799

SEAL

DATE	BY	MARK	REVISIONS	APPR.	DATE

CITY OF SALIDA

DESIGNED BY	WBH	APPROVED BY:	
DRAWN BY	CNB	AGENCY HEAD	DATE
CHECKED BY	WBH		
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DATE	AUG. 2019		

RIVER RIDGE
 SALIDA, CO
STREET PLAN & PROFILE
SCOTT STREET
 STA 0+00.00 TO STA 1+38.45

SHEET NO.
9
 OF 24 SHTS.
PROJECT NO.
 18031

7030

7030

7025

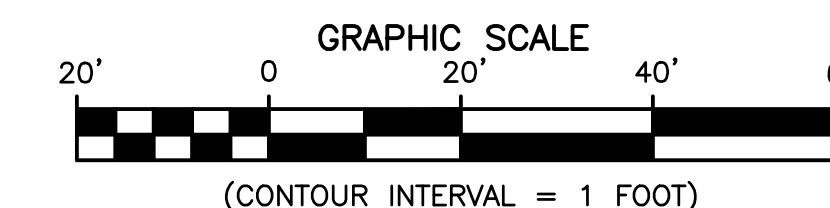
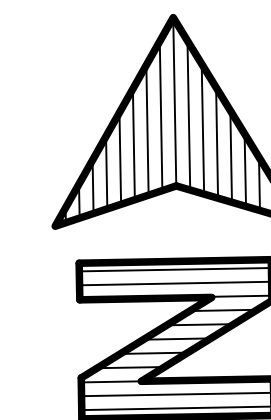
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7020

7020

1+00 1+50 2+00 2+50 3+00 3+50 4+00 4+50 5+00 5+50 6+00

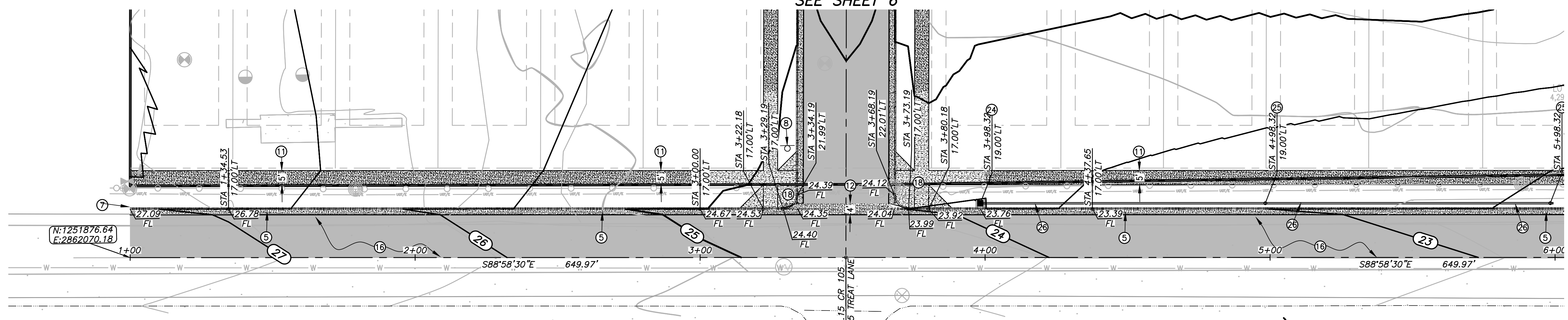
PROFILE SCALES:
HORIZONTAL : 1"=20'
VERTICAL : 1"=2'



CONSTRUCTION NOTES:

- ⑤ FURNISH & INSTALL "30" CURB & GUTTER" PER PLAN AND DETAIL SHEET 3.
- ⑦ CONSTRUCT "CURB TERMINUS" AT LOCATION SHOWN ON PLAN PER DETAIL SHEET 3.
- ⑧ FURNISH & INSTALL NEW R1-1 "STOP" SIGN PER MUTCD.
- ⑪ FURNISH & INSTALL NEW 4" THICK CONCRETE SIDEWALK PER PLAN AND DETAIL SHEET 3.
- ⑫ FURNISH & INSTALL NEW 4" RIBBON GUTTER PER PLAN AND DETAIL SHEET 3.
- ⑬ FURNISH & INSTALL 3" AC PAVING OVER 6" CLASS 6 BASE PER PLAN AND DETAIL SHEET 3.
- ⑰ FURNISH & INSTALL "ADA CURB RAMP-TYPE 1" PER PLAN AND DETAIL SHEET 3.
- ⑳ FURNISH & INSTALL 12" NYLOPLAST DRAIN BASIN WITH 6"x6" CURB SURROUND, (1) 6" SDR 35 INVERT 2' BELOW RIM.
- ㉑ FURNISH & INSTALL 6" CLEANOUT
- ㉒ FURNISH & INSTALL 6" SDR 35 PERFORATED PVC PIPE IN ROCK TRENCH PER DETAIL, SHEET 3.

TREAT LANE
SEE SHEET 6



CHAFFEE COUNTY ROAD NO. 105 (OLD STAGE ROAD)

CR 105

STA 1+00.00 TO STA 6+00.00

ISSUED FOR REVIEW 8/26/19

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 LAKEWOOD, CO 80214
 PHONE: 303-623-8600

PREPARED UNDER THE DIRECTION OF:
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 L.C.E. NO. 38552 EXP. DATE 10/31/19

PREPARED BY:

CRABTREE GROUP INC.
 ENGINEERING SMART GROWTH™

328 D STREET 918 CUYAMA ROAD
 SALIDA, CO 81201 OJAI, CA 93023
 PH: 719-539-1875 PH: 719-221-1799

SEAL

DATE	BY	MARK	REVISIONS	APPR.	DATE

CITY OF SALIDA

DESIGNED BY WBH APPROVED BY: _____
 DRAWN BY CNB
 CHECKED BY WBH AGENCY HEAD DATE _____

SCALE 1"=20'
 DATE AUG. 2019

BENCHMARK: 1 1/2" ALUMINUM CAP AT SOUTHEAST CORNER OF SUBJECT PROPERTY STAMPED LS17117, HAVING AN ELEVATION OF 7022.36

RIVER RIDGE
 SALIDA, CO

CR 105
 STA 1+00.00 TO STA 6+00.00

SHEET NO.
10
 OF 24 SHTS.
 PROJECT NO.
 18031

7030

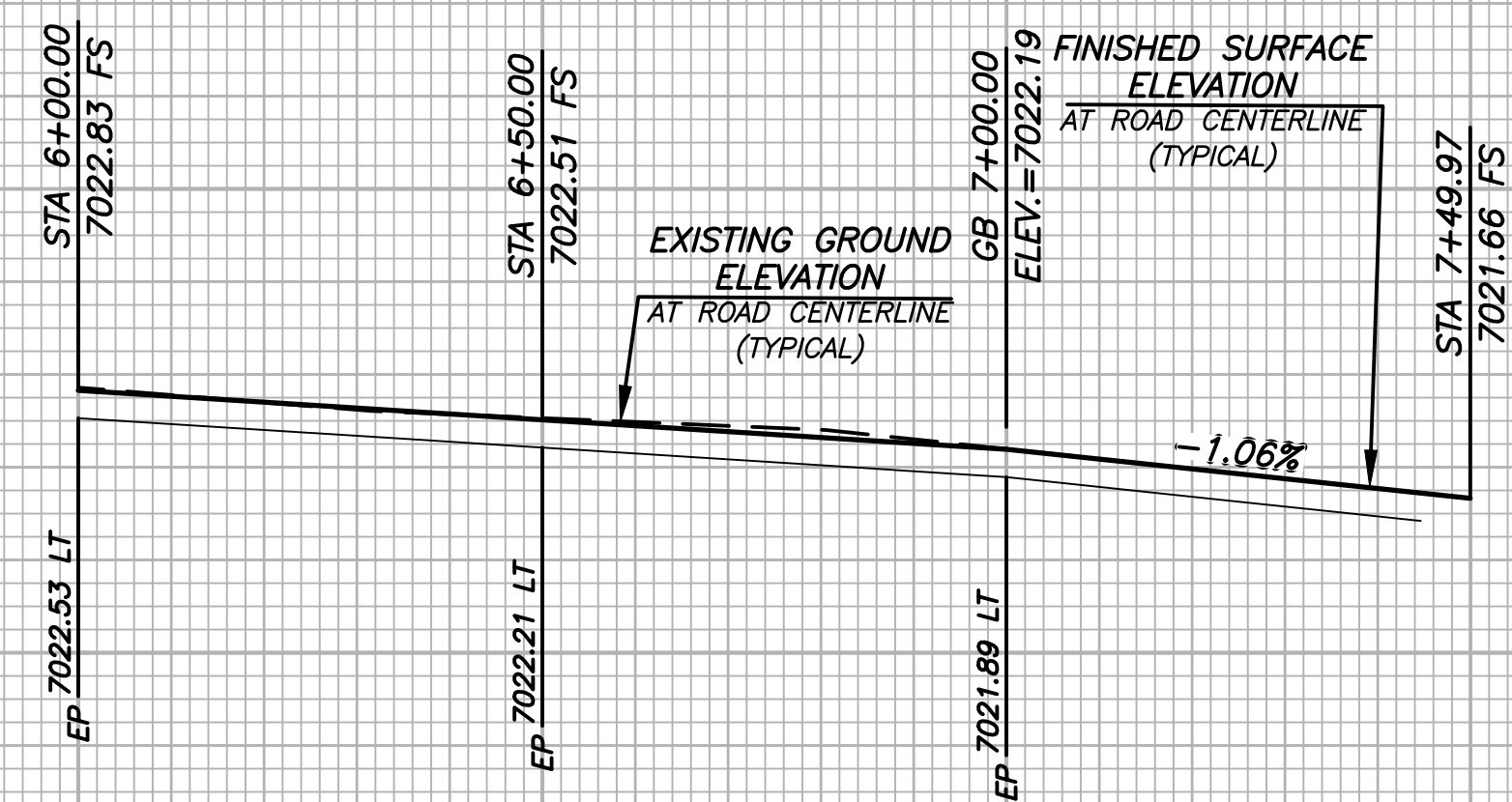
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7025

7025

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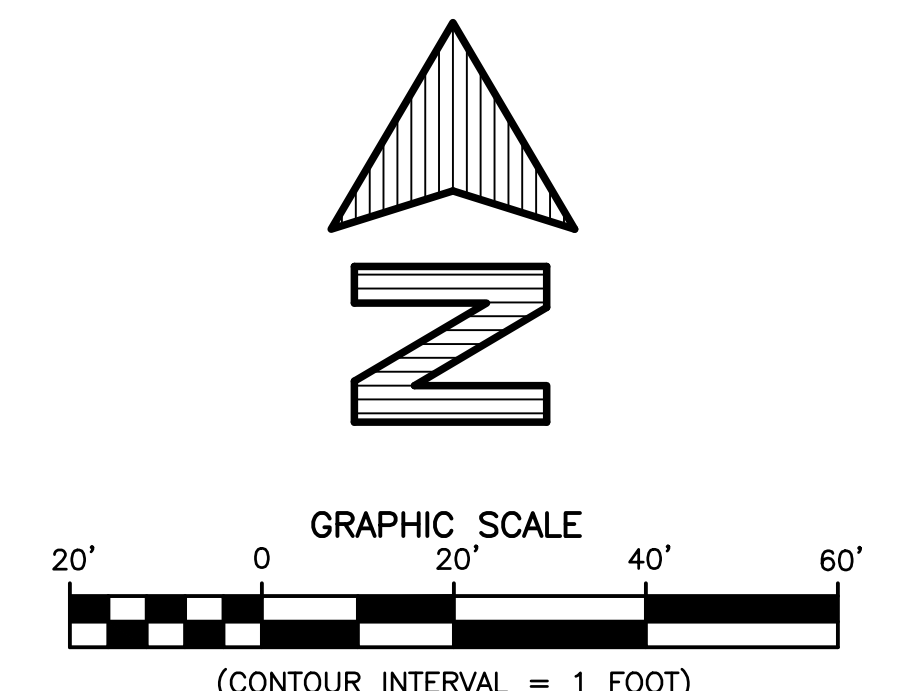
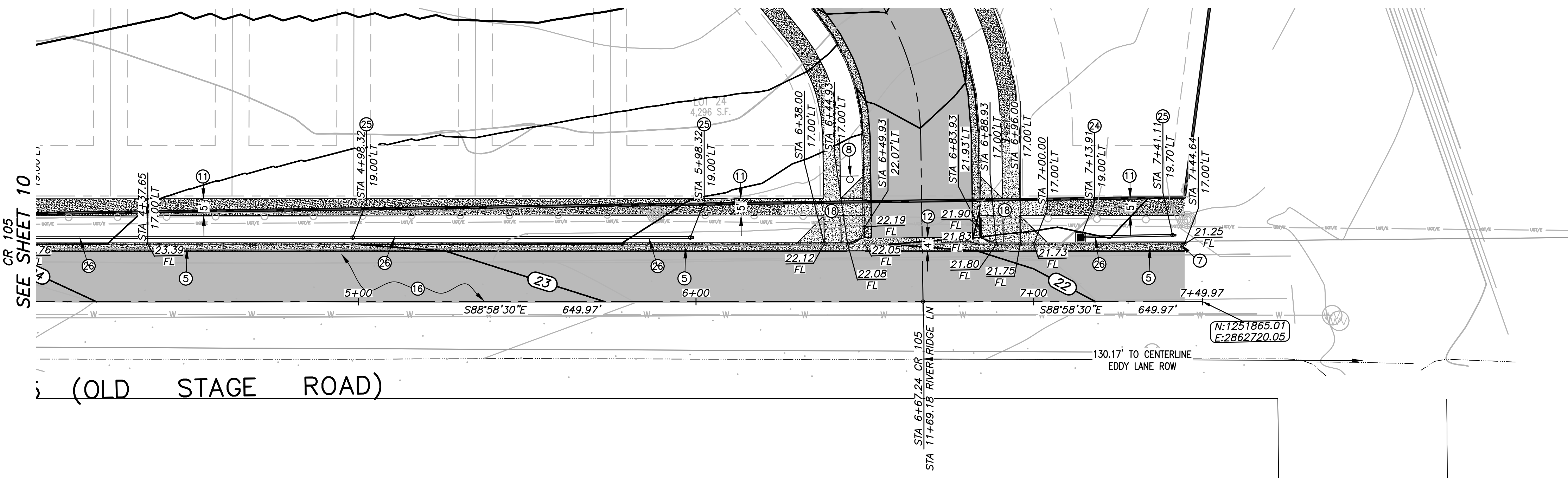
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PROFILE SCALES:
 HORIZONTAL : 1"=20'
 VERTICAL : 1"=2'

6+00 6+50 7+00 7+50 7+94.65

SEE SHEET 5
 RIVER RIDGE LANE



CONSTRUCTION NOTES:

- ⑤ FURNISH & INSTALL "30" CURB & GUTTER" PER PLAN AND DETAIL SHEET 3.
- ⑦ CONSTRUCT "CURB TERMINUS" AT LOCATION SHOWN ON PLAN PER DETAIL SHEET 3.
- ⑧ FURNISH & INSTALL NEW R1-1 "STOP" SIGN PER MUTCD.
- ⑪ FURNISH & INSTALL NEW 4" THICK CONCRETE SIDEWALK PER PLAN AND DETAIL SHEET 3.
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- ㉑ FURNISH & INSTALL 6" CLEANOUT
- ㉒ FURNISH & INSTALL 6" SDR 35 PERFORATED PVC PIPE IN ROCK TRENCH PER DETAIL, SHEET 3.

CR 105

STA 6+00.00 TO STA 7+94.65

ISSUED FOR REVIEW 8/26/19


PRIVATE ENGINEER'S NOTES TO CONTRACTOR
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 LAKEWOOD, CO 80214
 PHONE: 303-623-8600

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 L.C.E. NO. 38552 EXP. DATE 10/31/19

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 ENGINEERING SMART GROWTH™

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SEAL

DATE	BY	MARK	REVISIONS

CITY OF SALIDA

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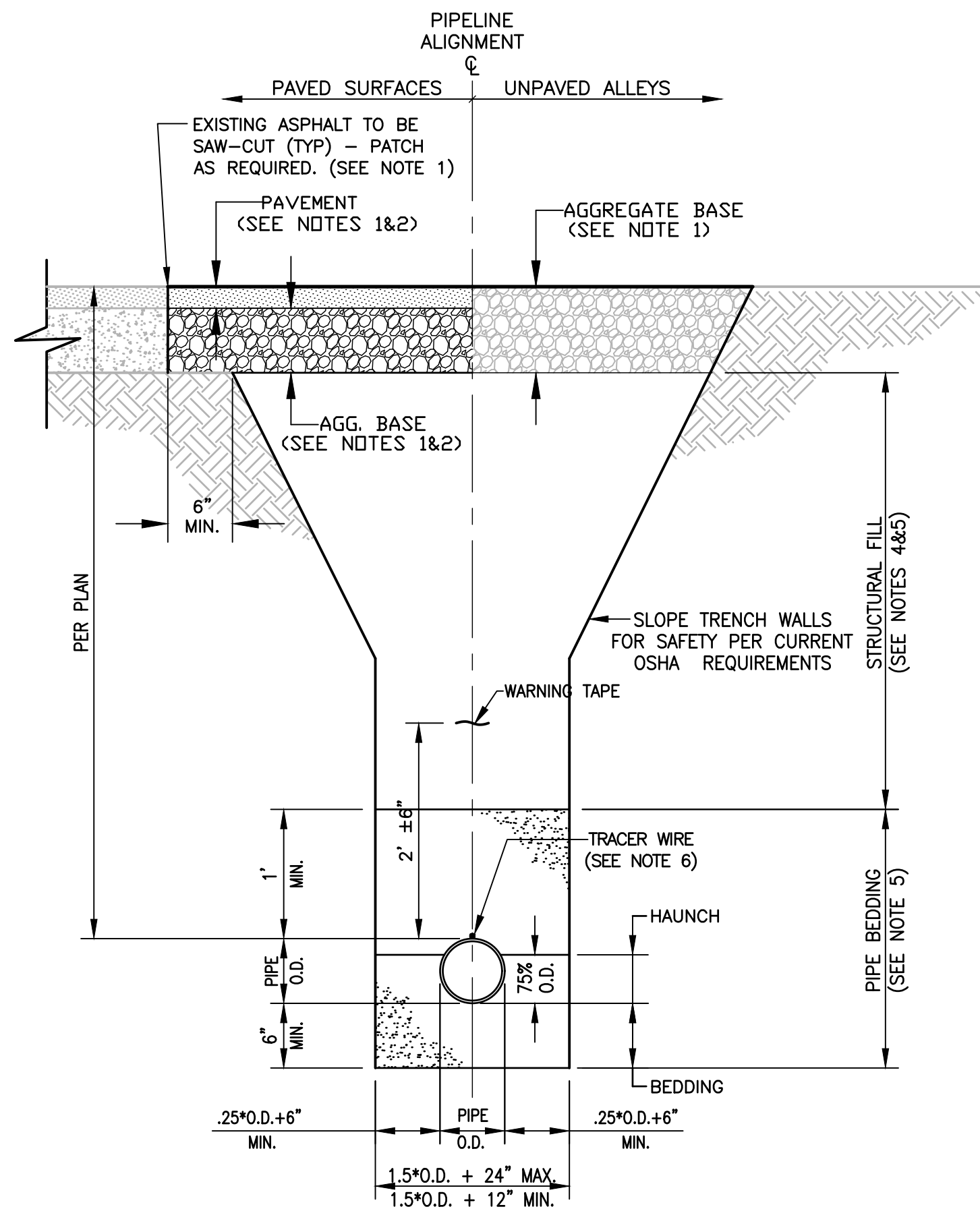
SCALE **1"=20'** BENCHMARK: 1 1/2" ALUMINUM CAP AT SOUTHEAST CORNER OF SUBJECT PROPERTY STAMPED LS17117, HAVING AN ELEVATION OF 7022.36

DATE **AUG. 2019** REVISION AGENCY

RIVER RIDGE
 SALIDA, CO

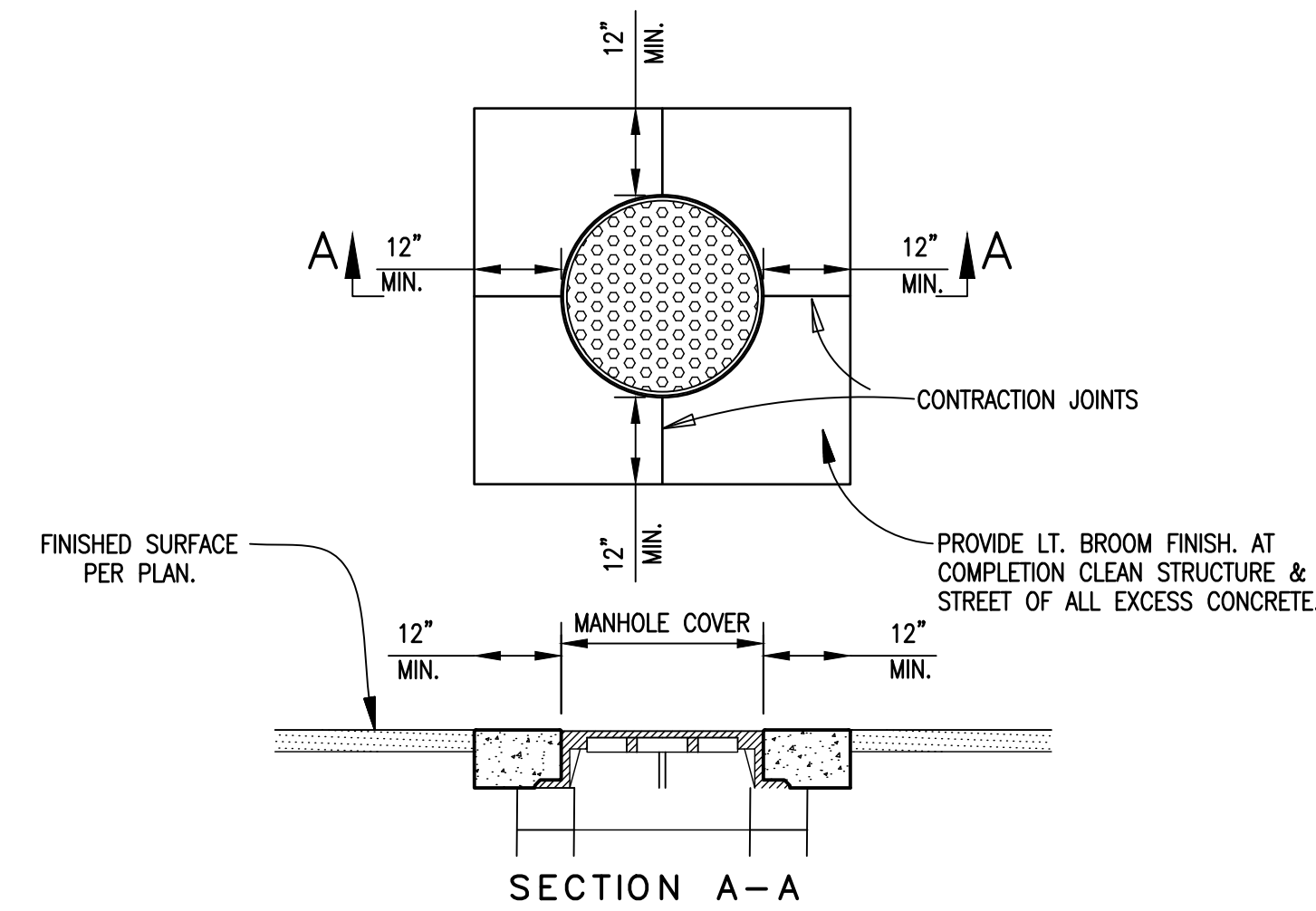
CR 105
 STA 6+00.00 TO STA 7+94.65

SHEET NO.
11
 OF 24 SHTS.
 PROJECT NO.
18031

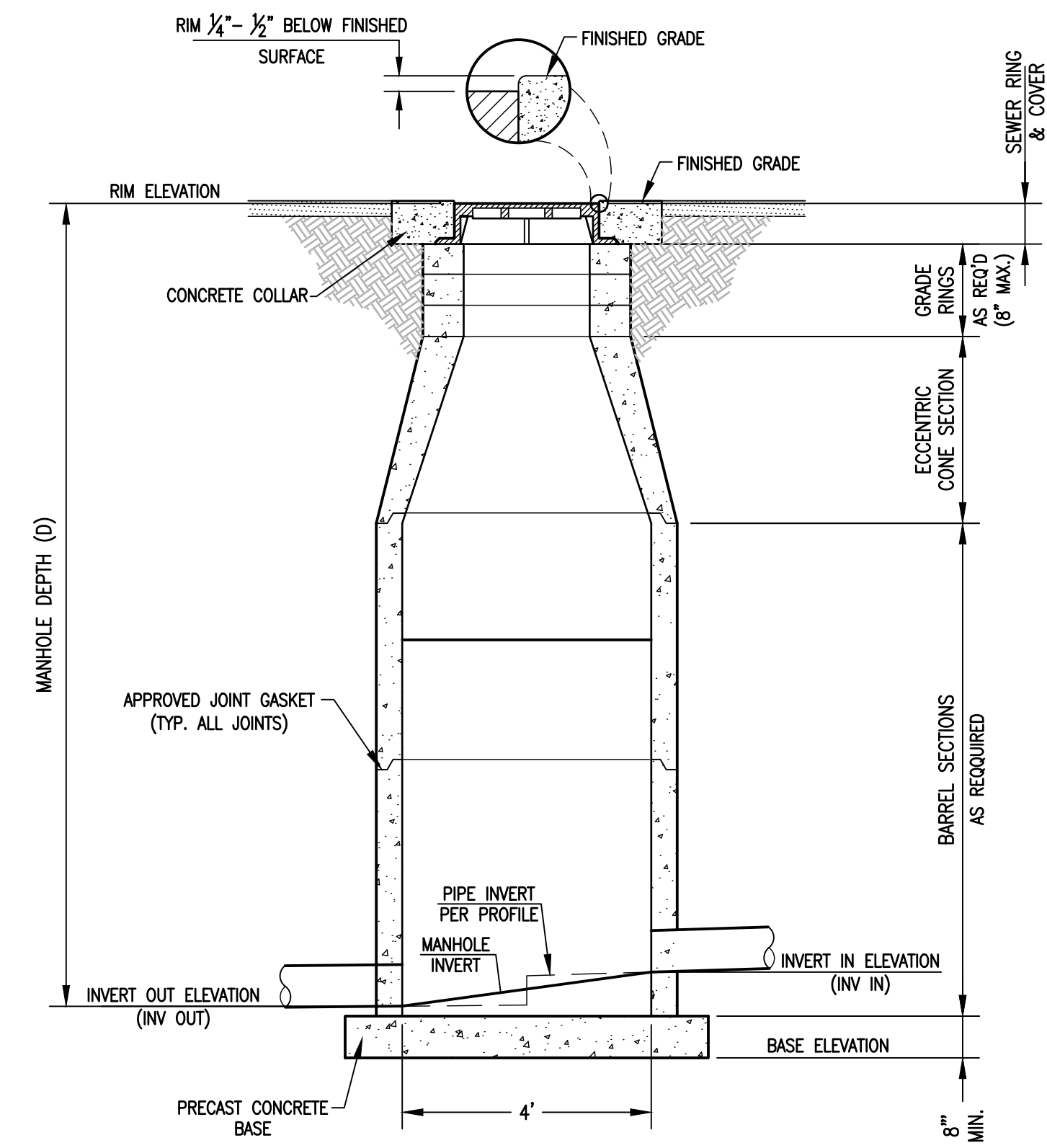


DETAIL
TRENCH DETAIL
(NO SCALE)

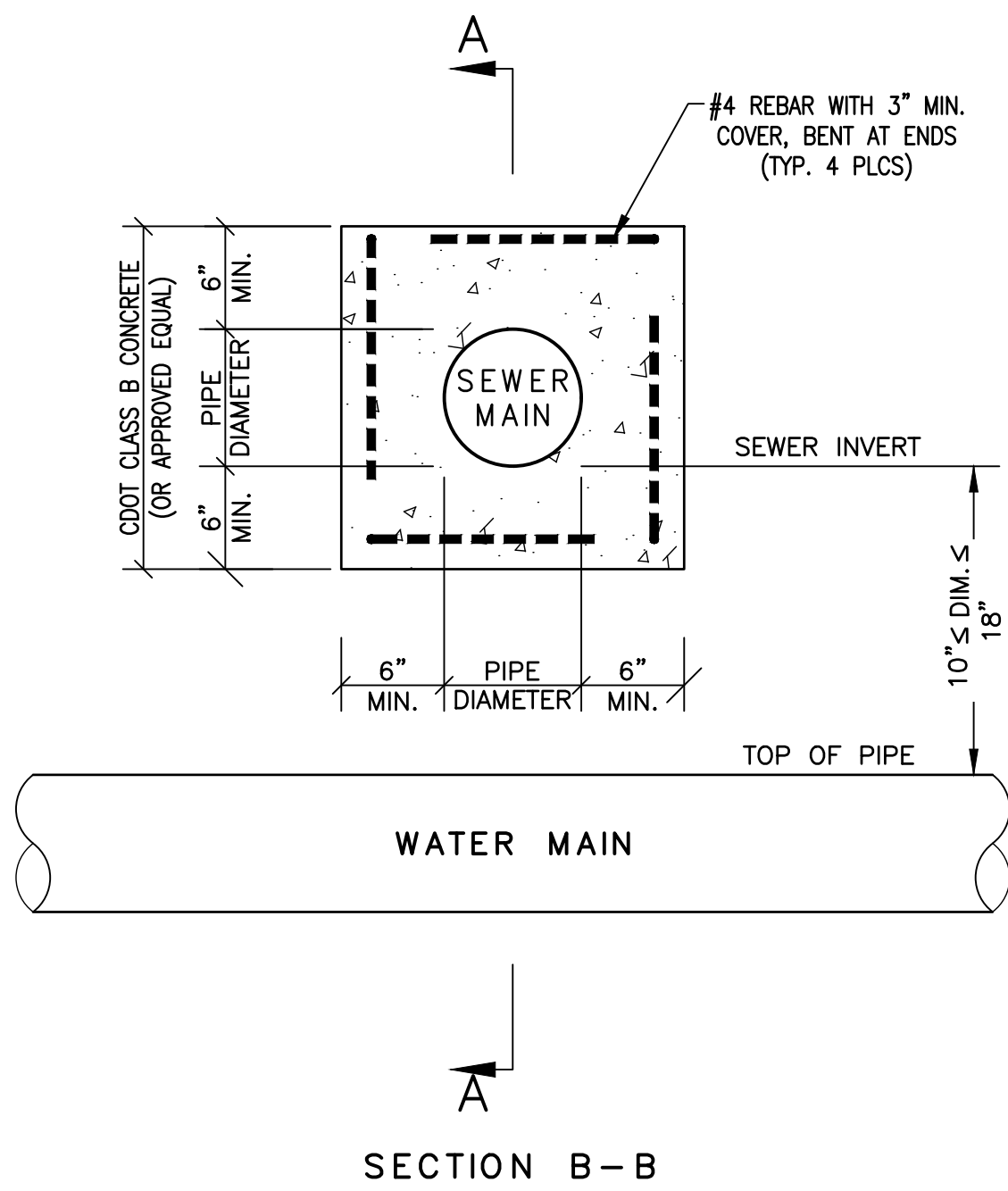
- TRENCH SECTION NOTES:
- ASPHALT AND ALLEY PATCHES SHALL COMPLY WITH THE APPROPRIATE MUNICIPAL STANDARDS.
 - NEW ASPHALT OR ASPHALT OVERLAY SHALL COMPLY WITH THE PROJECT SPECIFIC STANDARDS PROVIDED IN STREET NOTES.
 - PIPE BEDDING SHALL BE 3" CRUSHED ROCK.
 - STRUCTURAL FILL SHALL BE CDOT CLASS 1.
 - FILL AND BEDDING MATERIAL TO BE PLACED IN 12-INCH MAXIMUM LIFTS (COMPACTED DEPTH) TO THE FOLLOWING MINIMUM PERCENTAGES:
 - STREETS, PARKING LOTS, & ALLEYS COMPACTED TO 90% PER ASTM D1557 (MODIFIED PROCTOR).
 - UTILITY EASEMENTS OUTSIDE THE STREET SECTION COMPACTED TO 90% PER ASTM D1557 (MODIFIED PROCTOR).
 - UNDEVELOPED LAND COMPACTED TO 80% PER ASTM D1557 (MODIFIED PROCTOR).
 - INSTALL INSULATED GAUGE 12 TRACER WIRE, TAPED TO THE TOP OF PIPE, (FOR PVC WATER MAIN INSTALLATIONS) AND BROUGHT TO THE TOP OF EACH VALVE BOX.
 - PROVIDE POLYETHYLENE WRAP AROUND DUCTILE IRON PIPE OR FITTINGS. A MINIMUM OF 12" LAPS FOR PIPE WRAP. TAPE WRAP IS ACCEPTABLE FOR FITTINGS.
 - THIS DETAIL IS FOR "DRY" TRENCH CONDITIONS, "WET TRENCH" CONDITIONS CONTRACTOR SHALL PROVIDE A MINIMUM 4" OF 1.5 INCH MINUS WASHED ROCK UNDER PIPE BEDDING MATERIAL WRAPPED WITH FILTER FABRIC (MIRIFI 140N OR APPROVED EQUIVALENT).
 - BEDDING, STRUCTURAL FILL, TOPSOIL, WARNING TAPE, ASPHALT PATCHING AND TRACER ARE CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF THE WATER OR SEWER MAIN AND SHALL BE INCLUDED IN THE UNIT PRICE FOR WATER LINE OR SEWER MAIN INSTALLATION.
 - EXCAVATED MATERIAL CONTAINING RUBBISH, FROZEN MATERIAL, ORGANIC DEBRIS, ASPHALT, CONCRETE OR OTHER DELETERIOUS MATERIAL NOT SUITABLE FOR STRUCTURAL FILL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF MATERIAL IN A FASHION THAT COMPLIES WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. THE OWNER MAY REQUIRE DOCUMENTATION OF PROPER DISPOSAL AS A CONDITION OF FINAL PAYMENT.
 - SEE WATER AND/OR SEWER GENERAL NOTES FOR PIPE SPECIFICATIONS.



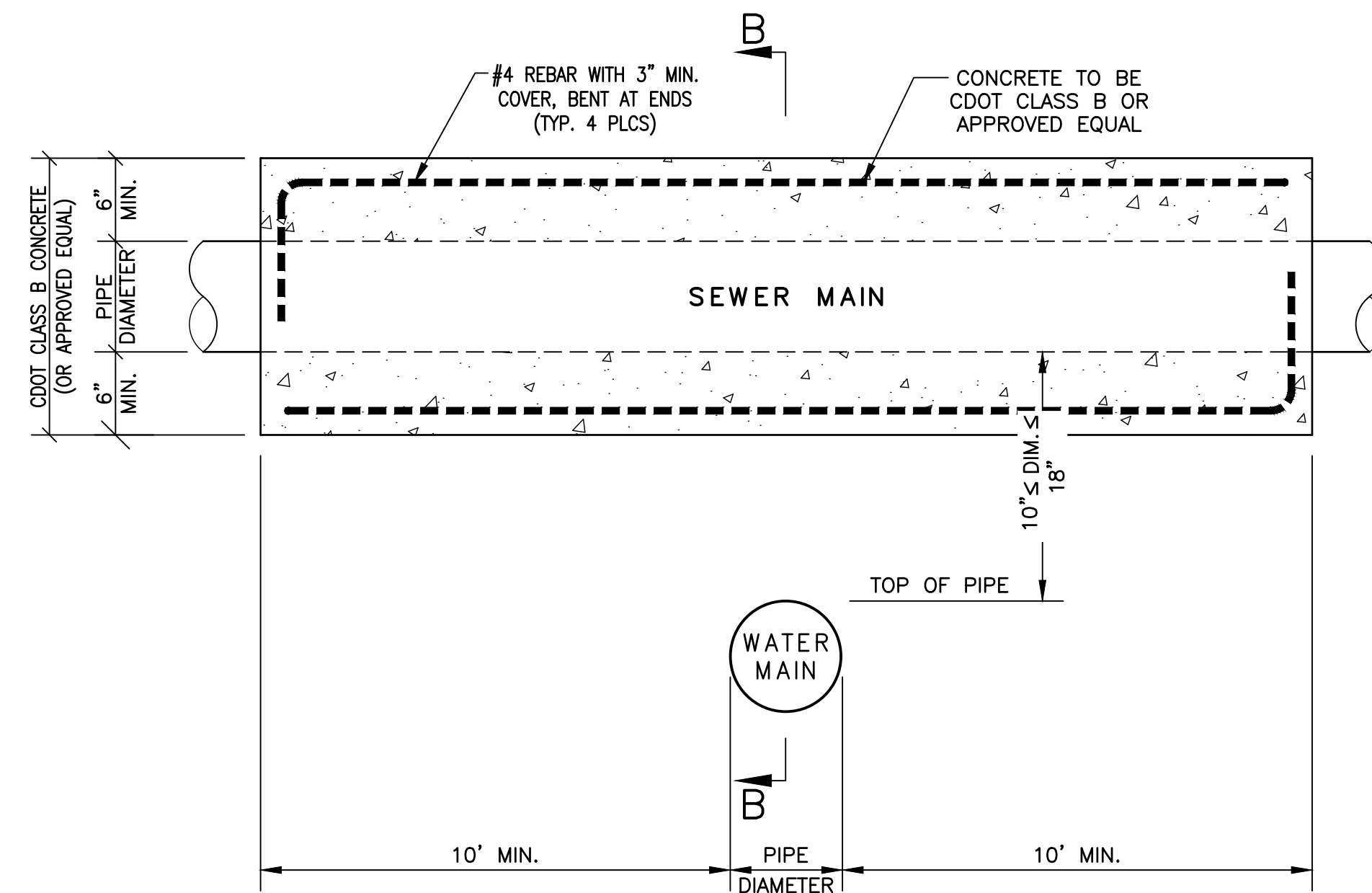
SECTION A-A
NOTE: CONCRETE TO BE 4000 PSI W/ FIBER MESH REINFORCEMENT
DETAIL
MANHOLE CONCRETE COLLAR
(NO SCALE)



DETAIL
SEWER MANHOLE
(NO SCALE)



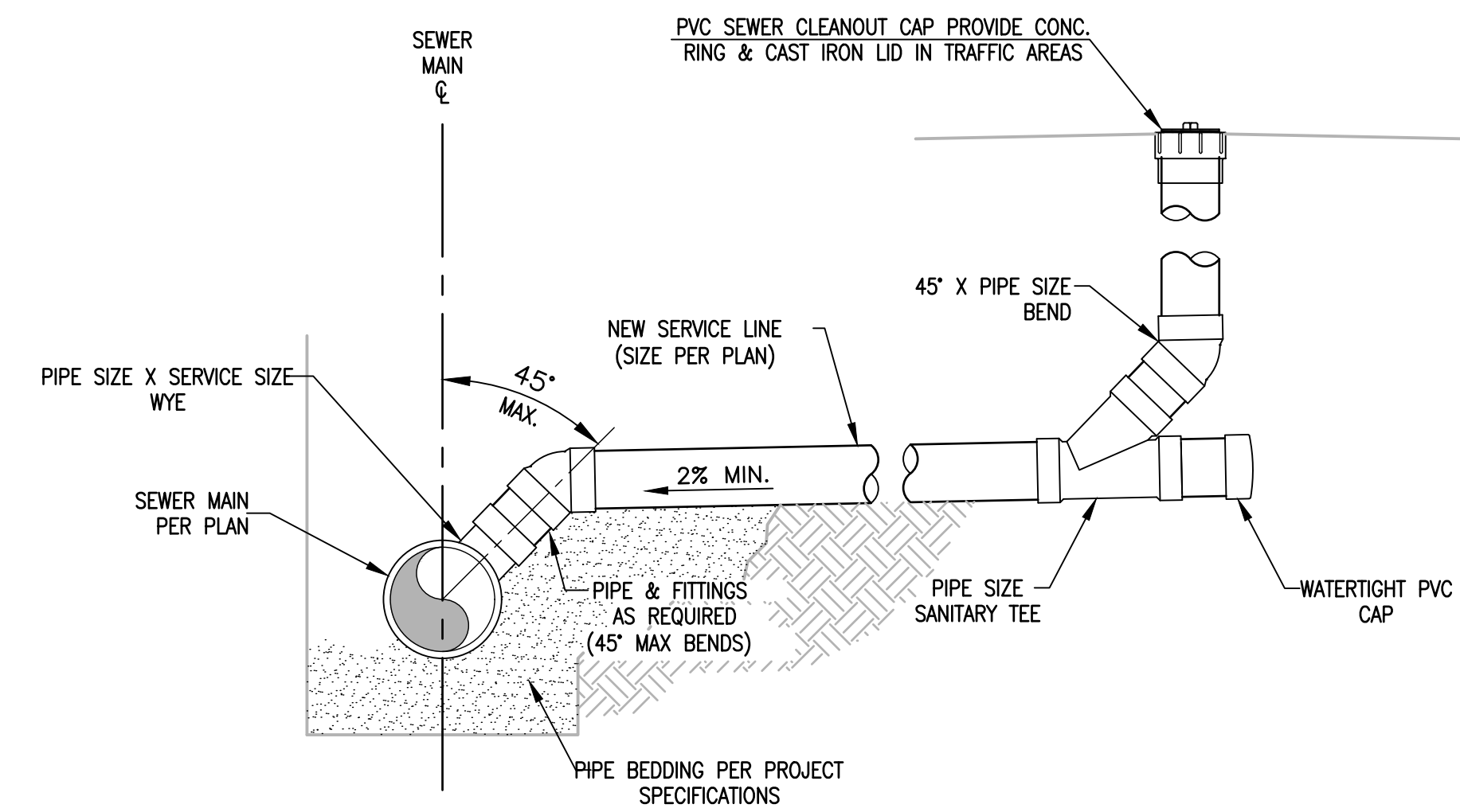
SECTION B-B



SECTION A-A

- NOTES:
- CONCRETE FOR ENCASEMENT SHALL MEET CDOT CLASS B SPECIFICATIONS.
 - CONTRACTOR SHALL CONTACT THE CITY OF SALIDA PUBLIC WORKS DEPARTMENT FOR INSPECTION PRIOR TO POURING CONCRETE AND/OR BACKFILLING.

DETAIL
CONCRETE SEWER ENCASEMENT
(NO SCALE)

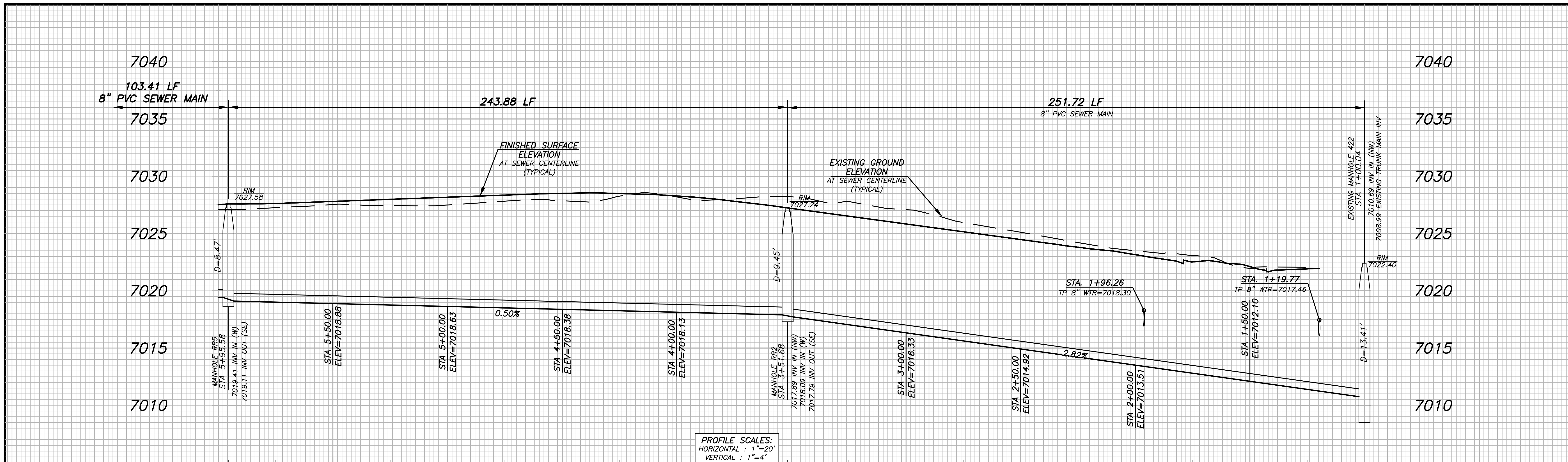


DETAIL
SEWER SERVICE TAP
(NO SCALE)

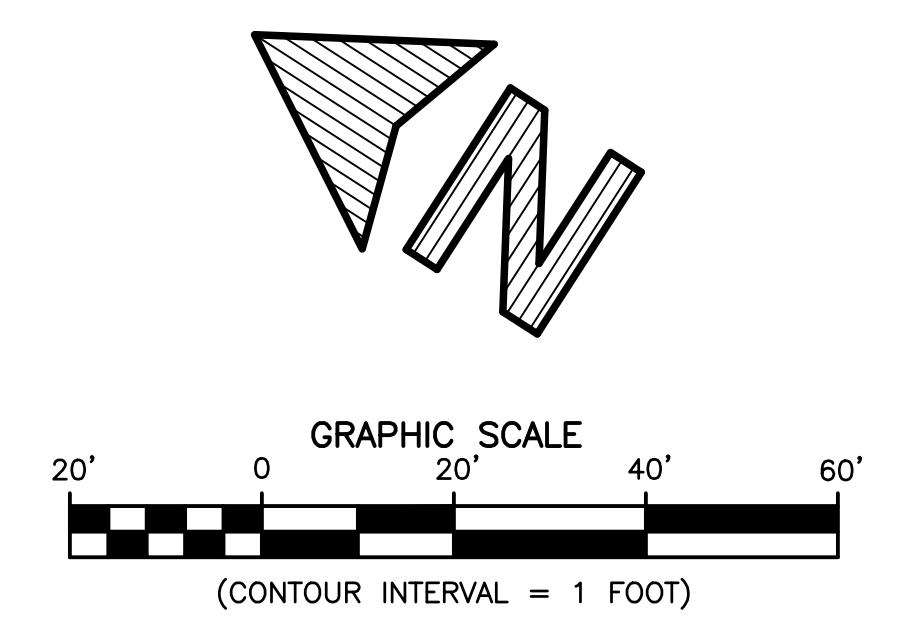
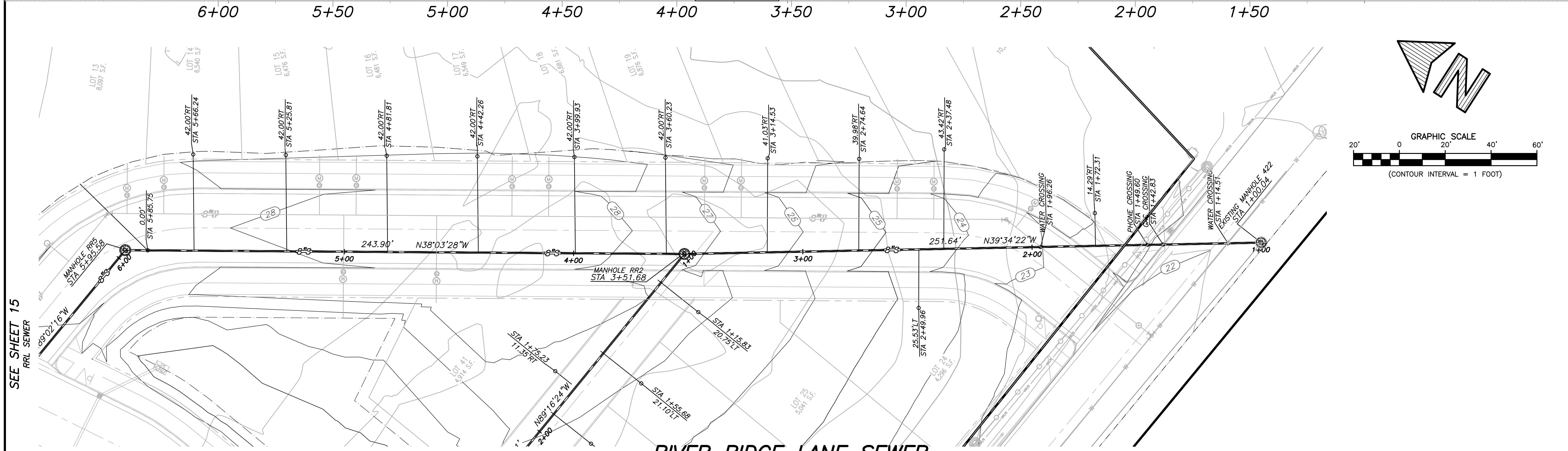
ISSUED FOR REVIEW 8/26/19

PRIVATE ENGINEER'S NOTES TO CONTRACTOR <small>THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE COUNTY, THE CITY, THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.</small>	PREPARED FOR: ARKANSAS RIVER LIVING, LLC 770 CRESCENT LANE LAKEWOOD, CO 80214 PHONE: 303-623-8600	PREPARED BY: TRACY L VANDAVEER CRABTREE GROUP, INC L.C.E. NO. 38552 EXP. DATE 10/31/19	SEAL 328 D STREET SALIDA, CO 81201 PH: 719-539-1875	918 CUYAMA ROAD OJAI, CA 93025 PH: 719-221-1799	CITY OF SALIDA DESIGNED BY WBH DRAWN BY CNB CHECKED BY WBH SCALE 1"=80' DATE AUG. 2019	APPROVED BY: AGENCY HEAD DATE BENCHMARK: 1 1/2" ALUMINUM CAP AT SOUTHEAST CORNER OF SUBJECT PROPERTY STAMPED L517117, HAVING AN ELEVATION OF 7022.36	RIVER RIDGE SALIDA, CO SEWER PLANS SEWER DETAILS DETAILS	SHEET NO. 13 OF 24 SHTS. PROJECT NO. 18031																								
	REVISIONS <table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>MARK</th> <th>APPR.</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>					DATE	BY	MARK	APPR.	DATE																					REVISION AGENCY	
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S:\18031-ARKANSAS RIVER LIVING-NEW CONCRETE SEWER COVER SHEETS\SEWER COVER SHEET.DWG 8/26/2019 10:00:18 AM



PROFILE SCALES:
HORIZONTAL : 1"=20'
VERTICAL : 1"=4'



SEE SHEET 15
RRL SEWER

RIVER RIDGE LANE SEWER
STA 1+00.00 TO STA 6+00.00

ISSUED FOR REVIEW 8/26/19

PRIVATE ENGINEER'S NOTES TO CONTRACTOR
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PREPARED FOR:
ARKANSAS RIVER LIVING, LLC
770 CRESCENT LANE
LAKEWOOD, CO 80214
PHONE: 303-623-8600

PREPARED UNDER THE DIRECTION OF:
DATE

TRACY L VANDAVEER CRABTREE GROUP, INC
L.C.E. NO. 38552 EXP. DATE 10/31/19

PREPARED BY:
CRABTREE GROUP INC.
ENGINEERING SMART GROWTH™

328 D STREET 918 CUYAMA ROAD
SALIDA, CO 81201 OJAI, CA 91328
PH: 719-539-1875 PH: 719-221-1799

SEAL

DATE	BY	MARK	ENGINEER

REVISIONS

APPR.	DATE	REVISION AGENCY

CITY OF SALIDA

DESIGNED BY	WBH	APPROVED BY:	
DRAWN BY	CNB	AGENCY HEAD	DATE
CHECKED BY	WBH		

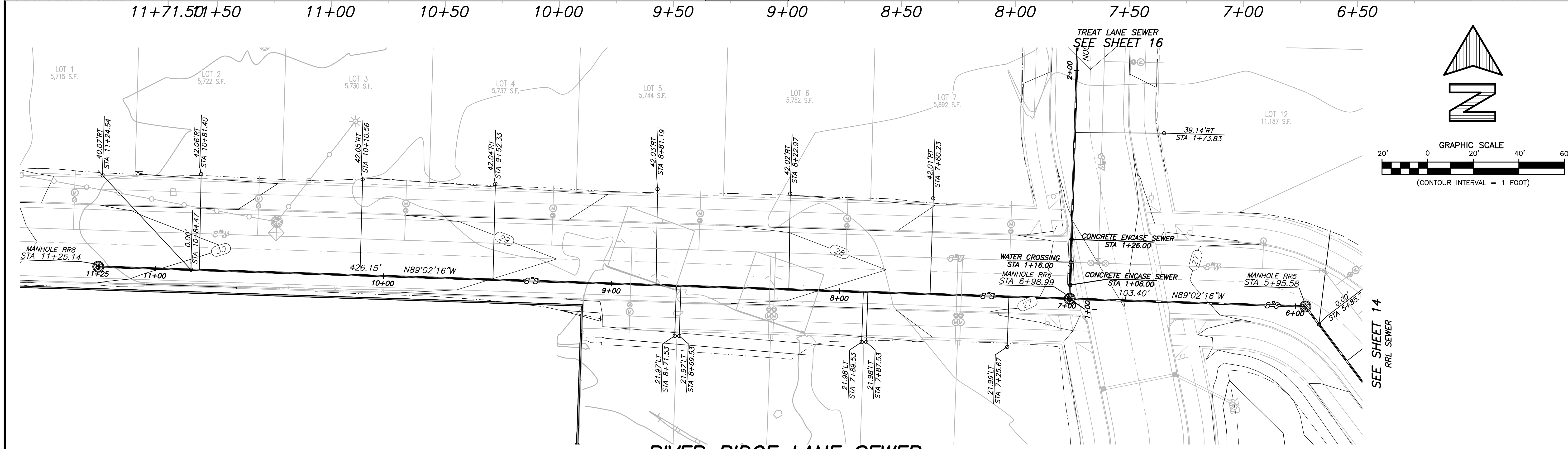
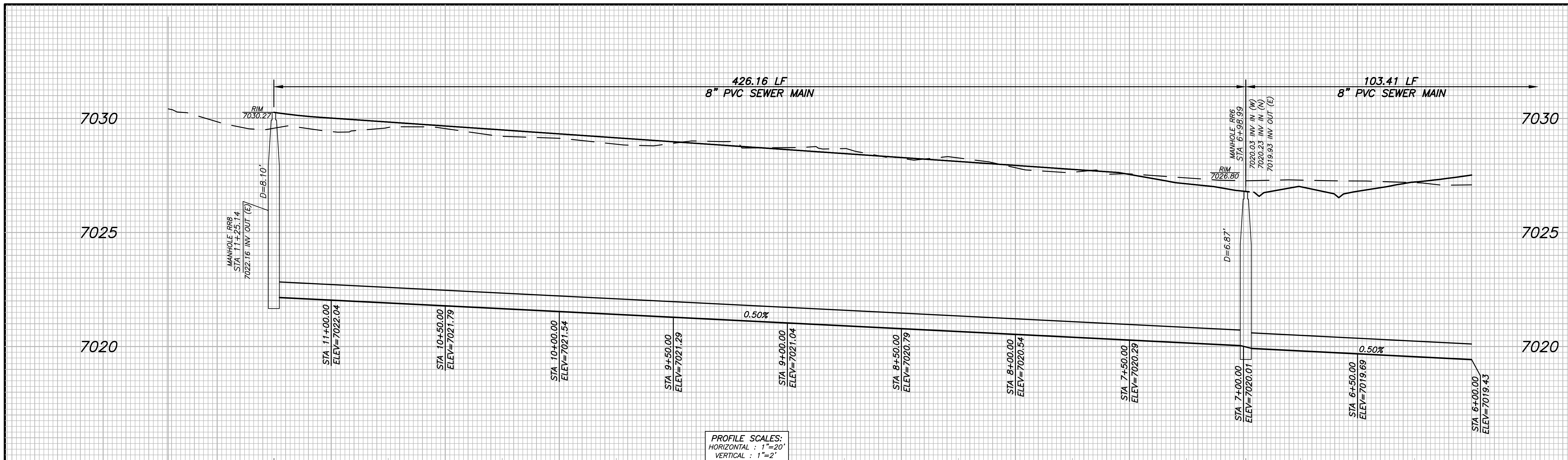
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DATE AUG. 2019

BENCHMARK: 1 1/2" ALUMINUM CAP AT SOUTHEAST CORNER OF SUBJECT PROPERTY STAMPED LS17117, HAVING AN ELEVATION OF 7022.36

RIVER RIDGE
SALIDA, CO

RIVER RIDGE LANE SEWER
STA 1+00.00 TO STA 6+00.00

SHEET NO.
14
OF 24 SHTS.
PROJECT NO.
18031



RIVER RIDGE LANE SEWER
STA 6+00.00 TO STA 11+00.00

ISSUED FOR REVIEW 8/26/19


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ARKANSAS RIVER LIVING, LLC
770 CRESCENT LANE
LAKEWOOD, CO 80214
PHONE: 303-623-8600

PREPARED UNDER THE DIRECTION OF: _____ DATE _____

TRACY L VANDAEVER CRABTREE GROUP, INC
L.C.E. NO. 38552 EXP. DATE 10/31/19

PREPARED BY:



CRABTREE GROUP INC.
ENGINEERING SMART GROWTH™

328 D STREET 918 CUYAMA ROAD
SALIDA, CO 81201 OJAI, CA 91028
PH: 719-539-1875 PH: 719-221-1799

SEAL

DATE	BY	MARK	ENGINEER

CITY OF SALIDA			
DESIGNED BY	WBH	APPROVED BY:	
DRAWN BY	CNB		
CHECKED BY	WBH	AGENCY HEAD	DATE
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DATE	AUG. 2019		

RIVER RIDGE
SALIDA, CO

RIVER RIDGE LANE SEWER
STA 6+00.00 TO STA 11+00.00

SHEET NO. **15**
OF 24 SHTS.
PROJECT NO. **18031**

7030

7030

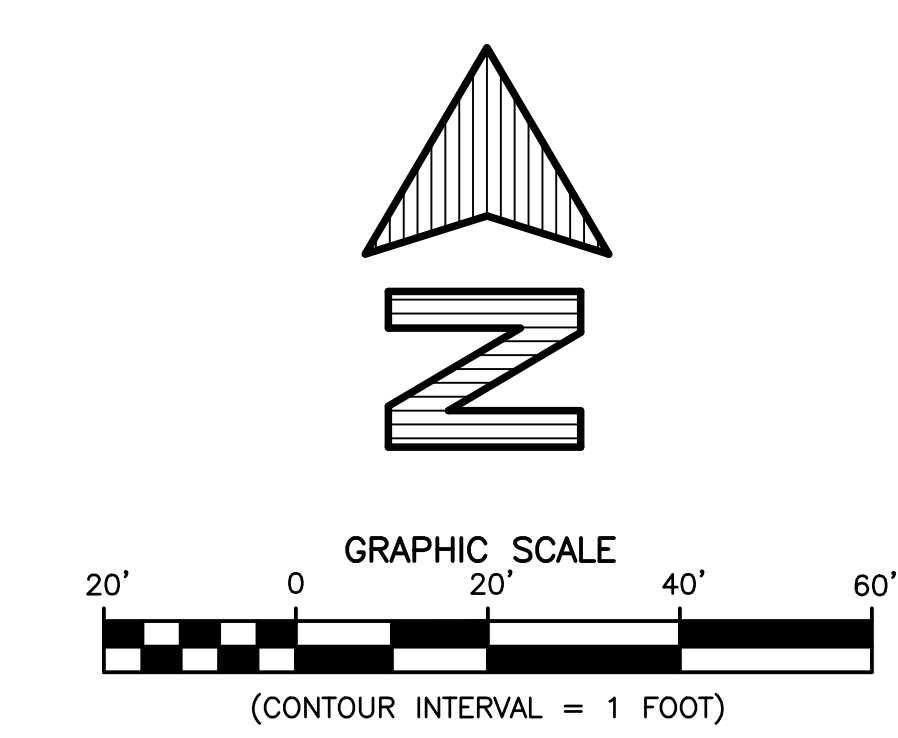
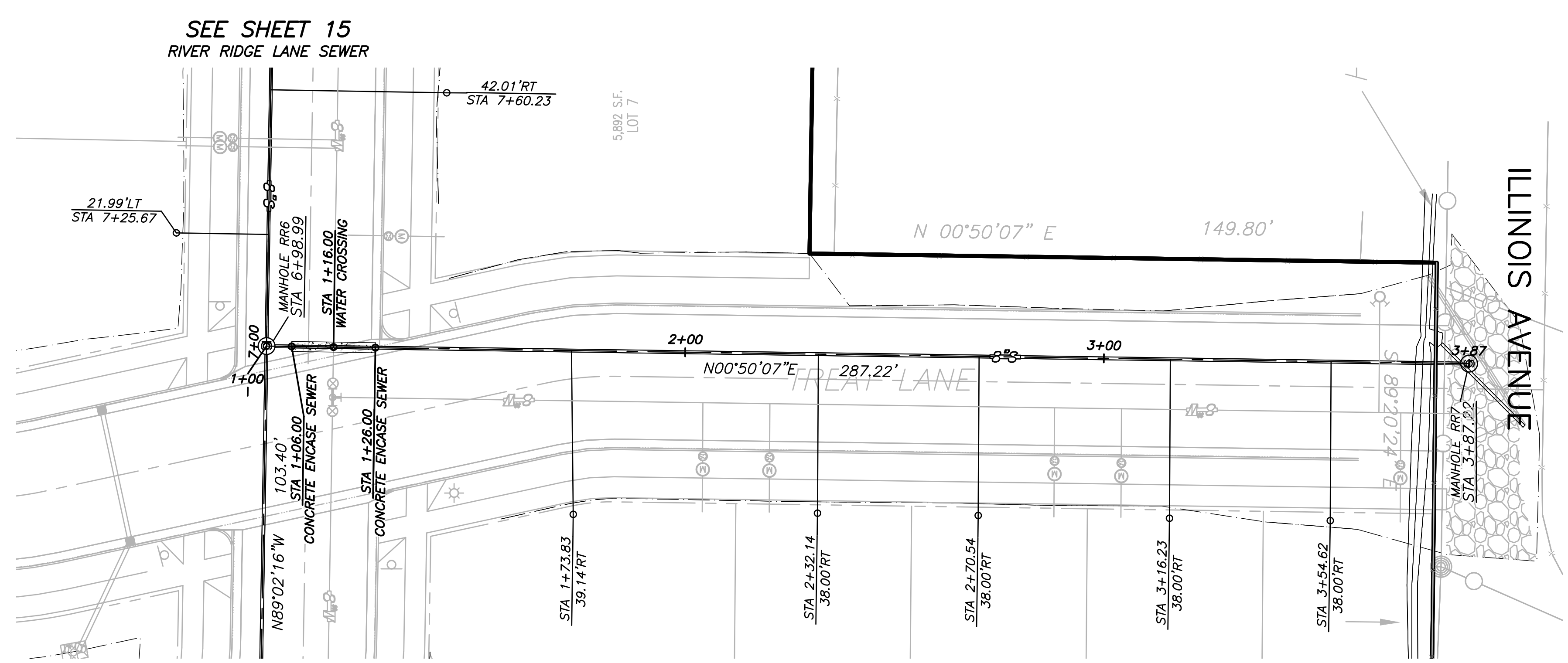
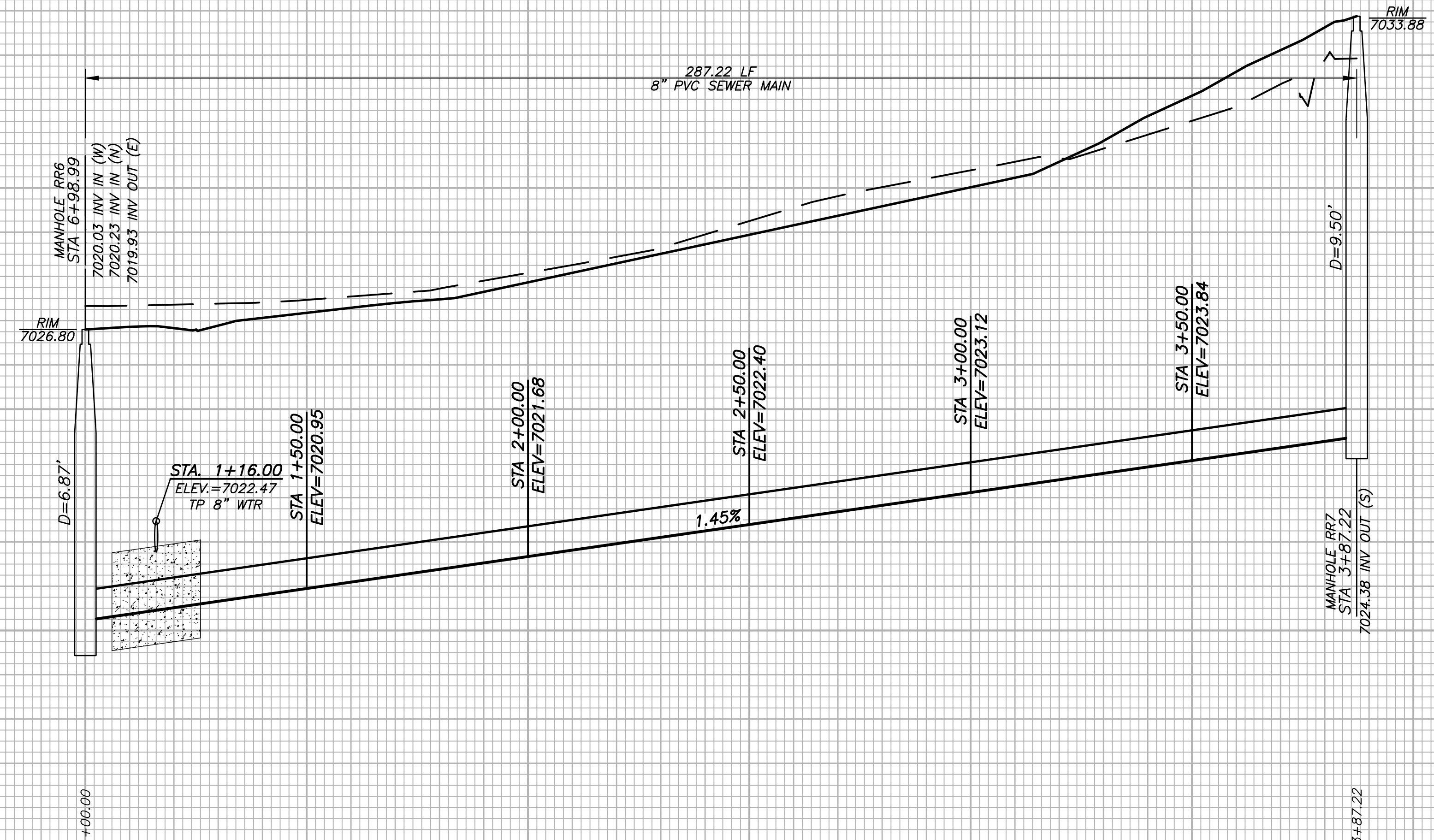
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7025

7020

7020

0+50 1+00 1+50 2+00 2+50 3+00 3+50 4+00 4+50



TREAT LANE SEWER
STA 1+00.00 TO STA 3+87.22


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ARKANSAS RIVER LIVING, LLC
770 CRESCENT LANE
LAKEWOOD, CO 80214
PHONE: 303-623-8600

PREPARED UNDER THE DIRECTION OF:
DATE _____

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L.C.E. NO. 38552 EXP. DATE 10/31/19

PREPARED BY:



CRABTREE GROUP INC.
ENGINEERING SMART GROWTH™

328 D STREET 918 CUYAMA ROAD
SALIDA, CO 81201 OJAI, CA 93023
PH: 719-539-1875 PH: 719-221-1799

SEAL

DATE	BY	MARK	REVISIONS	APPR.	DATE

CITY OF SALIDA

DESIGNED BY: WBH
DRAWN BY: CNB
CHECKED BY: WBH
SCALE: 1"=20'
DATE: AUG. 2019

APPROVED BY: _____
AGENCY HEAD: _____
DATE: _____

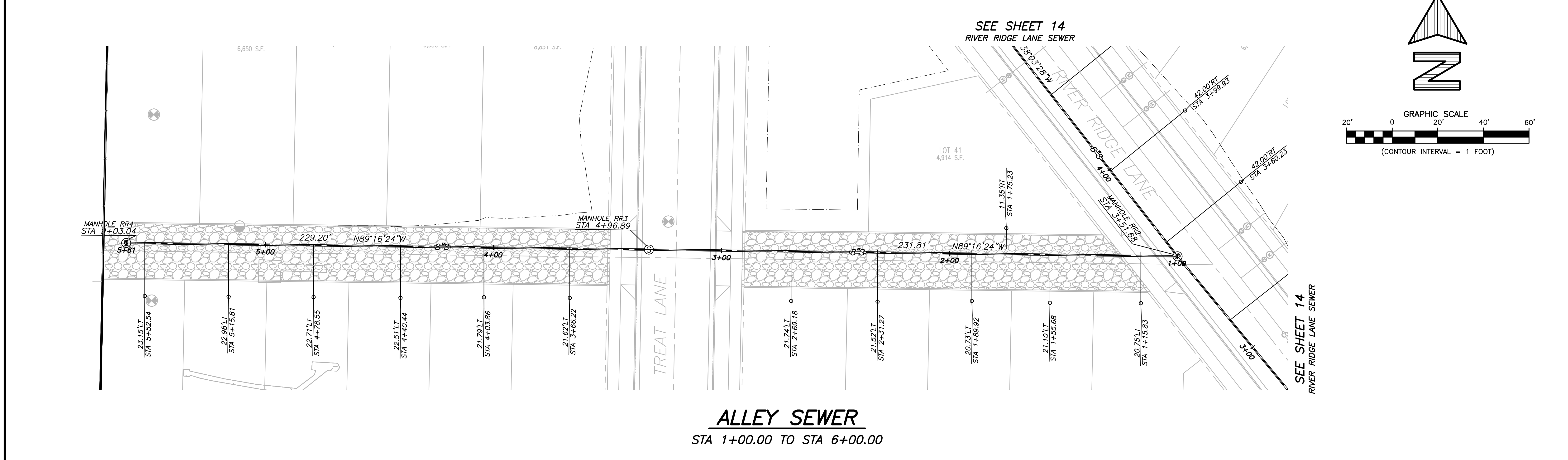
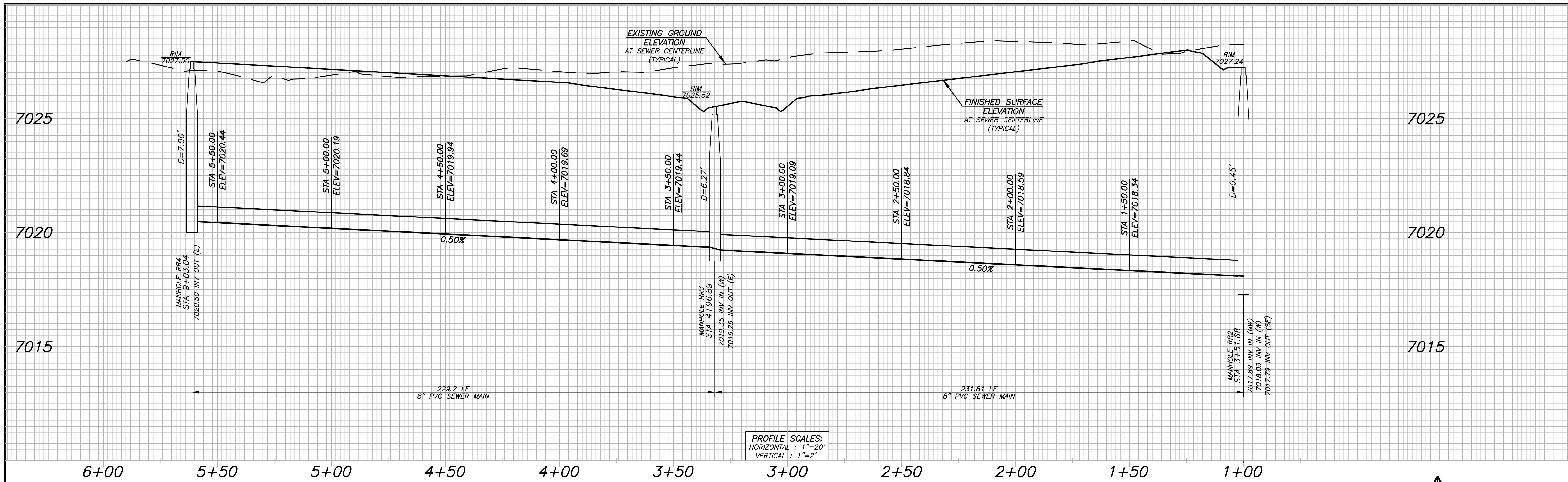
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RIVER RIDGE
SALIDA, CO

SEWER PLAN & PROFILE

TREAT LANE SEWER
STA 1+00.00 TO STA 3+87.22

SHEET NO.
16
OF 24 SHEETS
PROJECT NO.
18031



PRIVATE ENGINEER'S NOTES TO CONTRACTOR
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PREPARED UNDER THE DIRECTION OF:
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 ENGINEERING SMART GROWTH™

328 D STREET 918 CUYAMA ROAD
 SALIDA, CO 81201 OJAI, CA 93023
 PH: 719-539-1875 PH: 719-221-1799

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CITY OF SALIDA

DESIGNED BY: WBH
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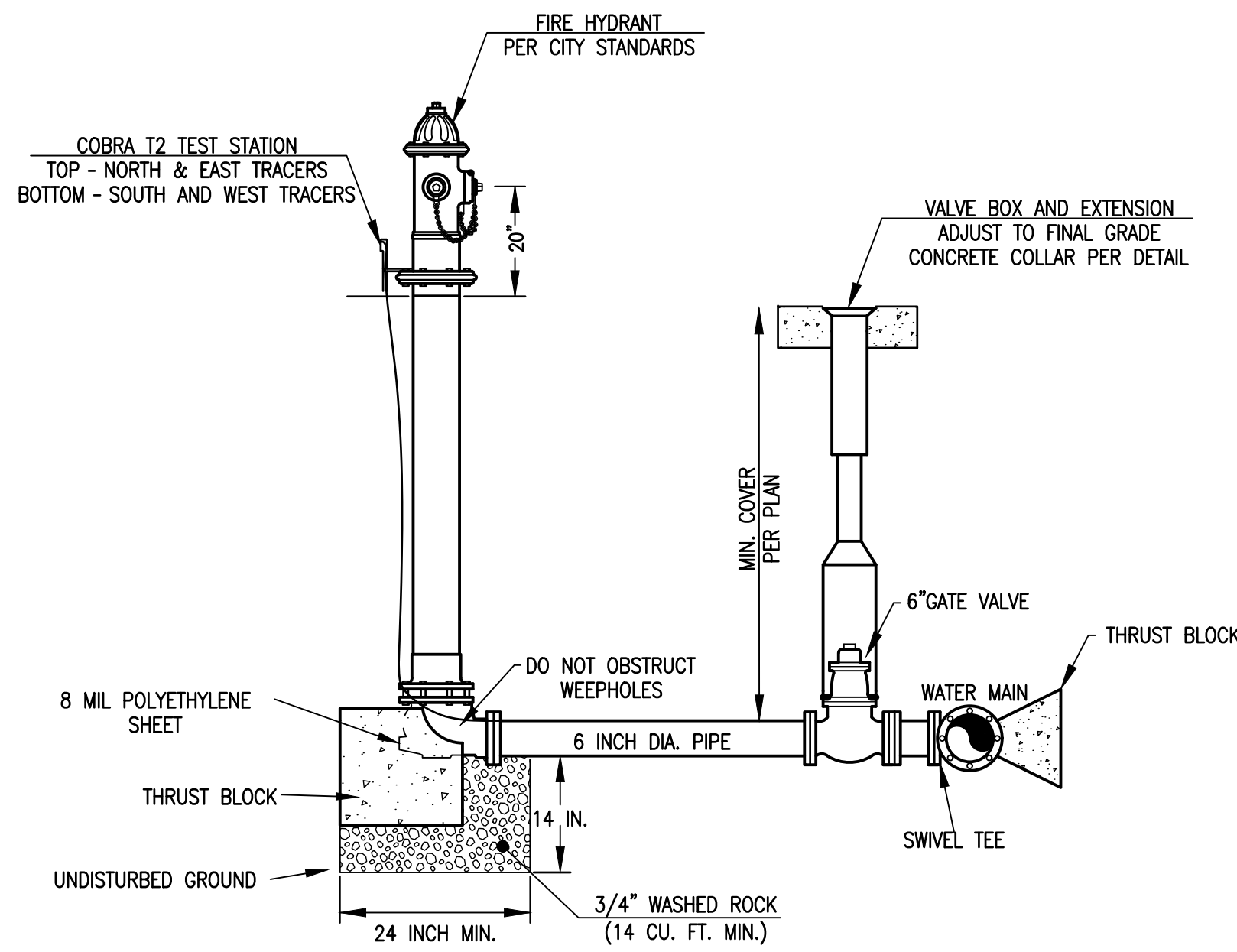
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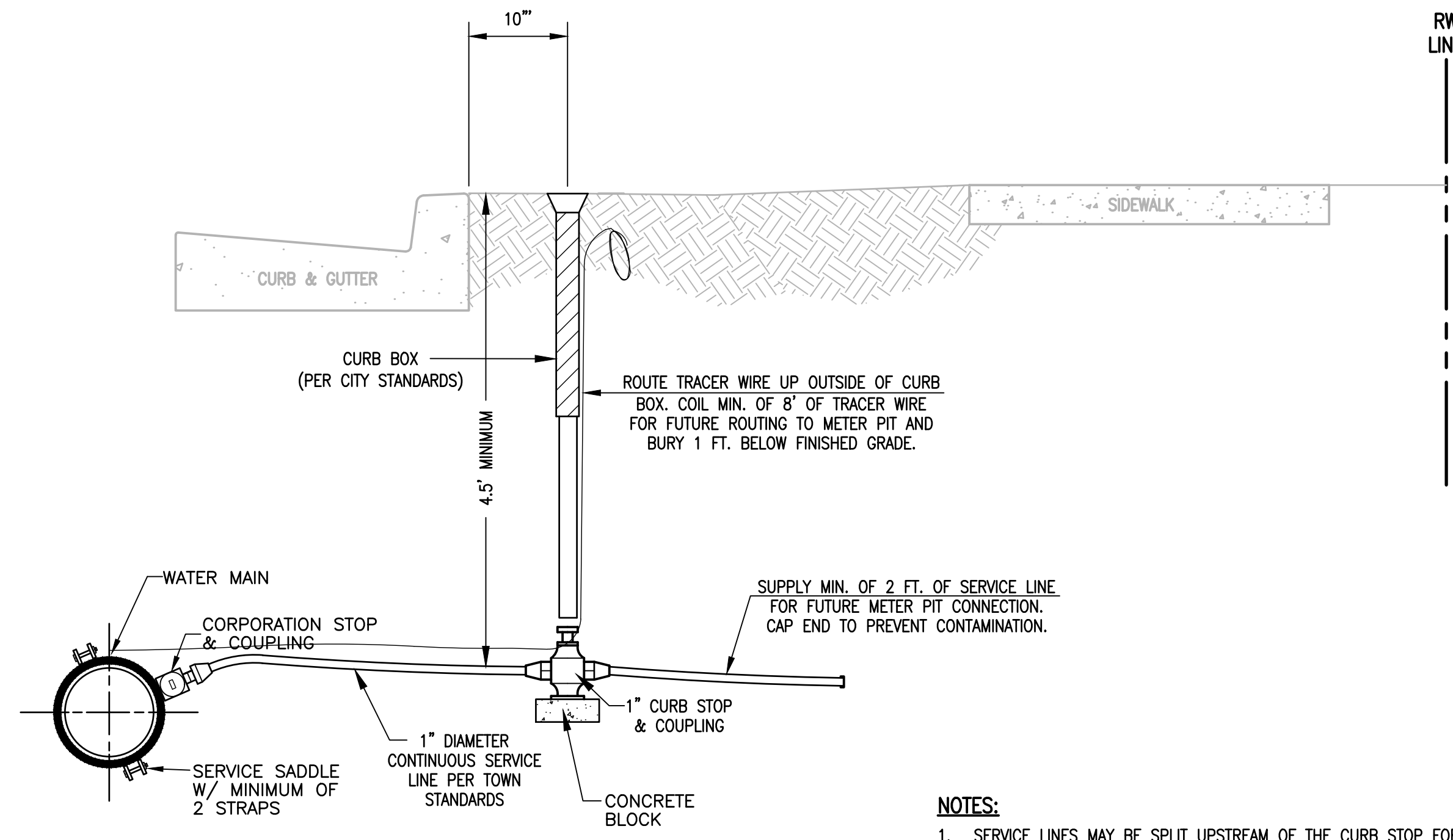
RIVER RIDGE
 SALIDA, CO

SEWER PLAN & PROFILE
ALLEY SEWER
 STA 1+00.00 TO STA 6+00.00

SHEET NO.
 17
 OF 24 SHEETS
PROJECT NO.
 18031

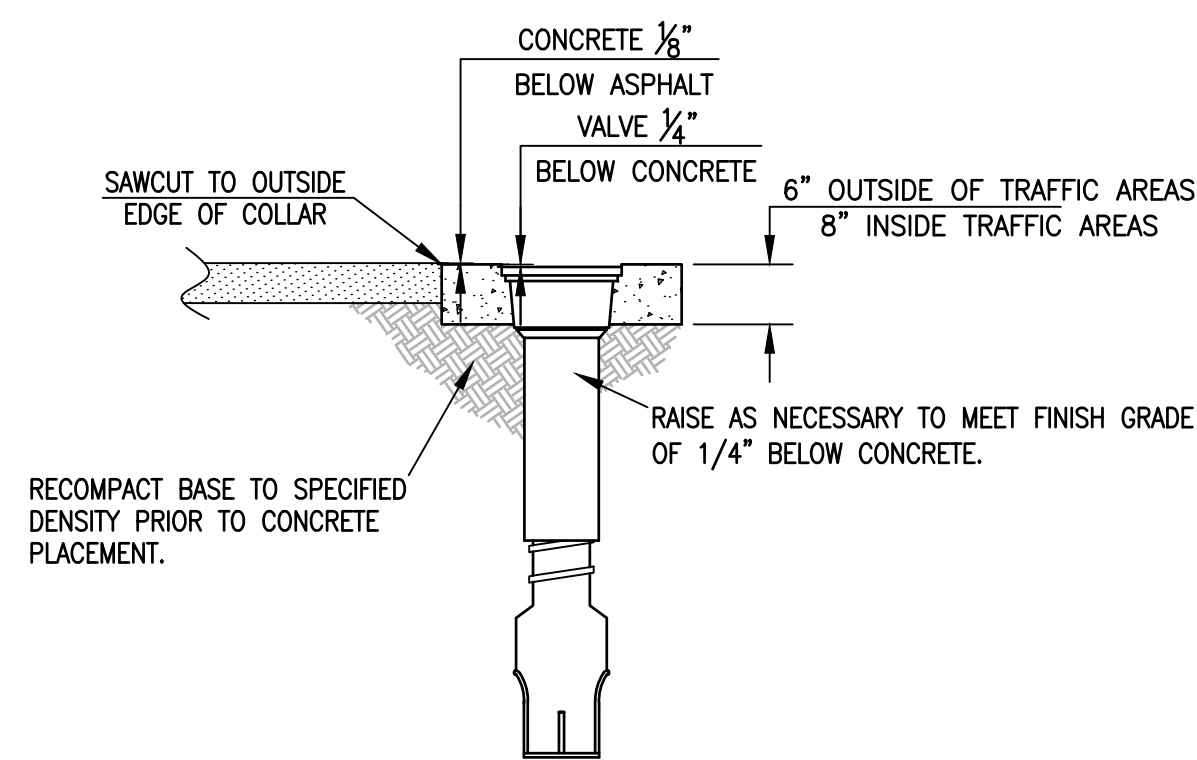


**DETAIL
FIRE HYDRANT ASSEMBLY**
(NO SCALE)

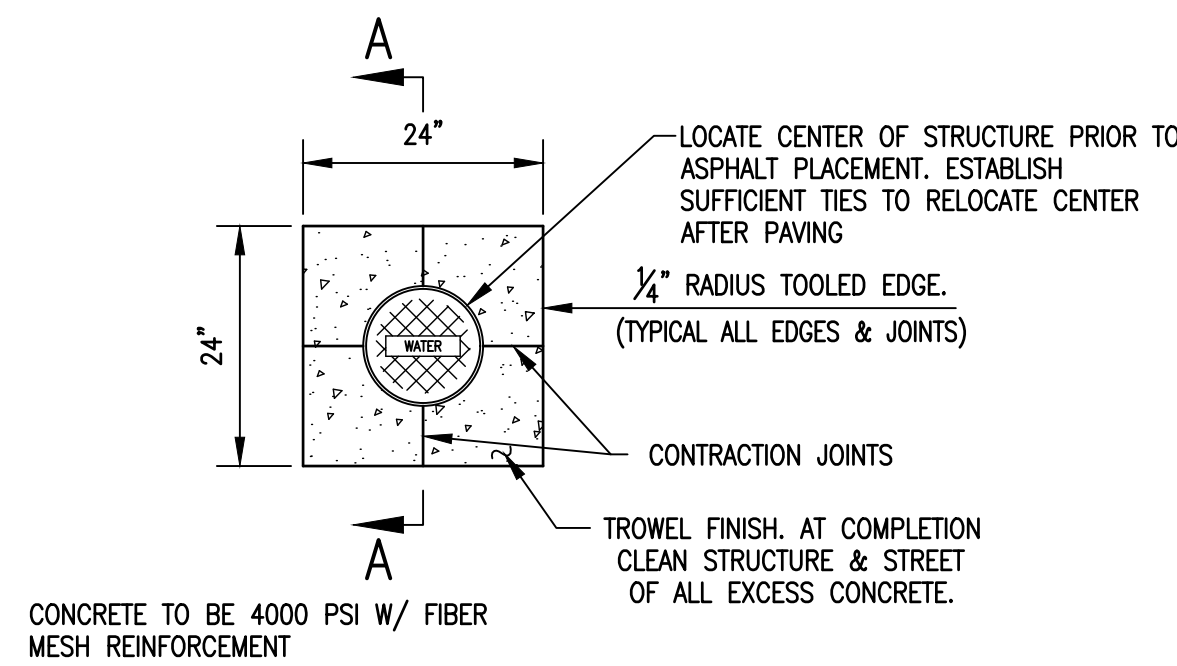


**DETAIL
FUTURE SERVICE TAP ASSEMBLY**
(NO SCALE)

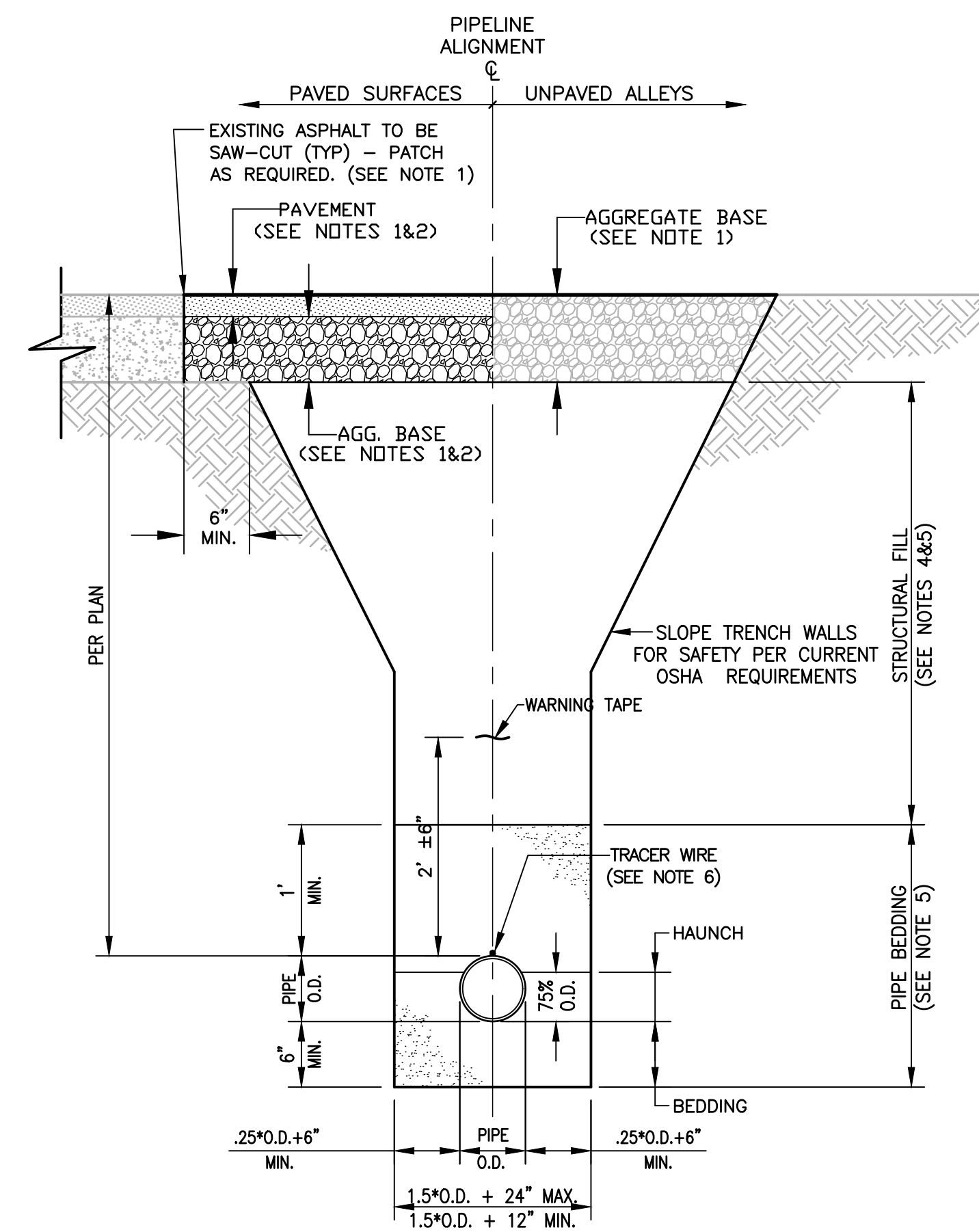
- NOTES:**
- SERVICE LINES MAY BE SPLIT UPSTREAM OF THE CURB STOP FOR DUPLEX LOTS FOR EACH UNIT TO HAVE ITS OWN CURB STOP AND METER PIT.
 - CURB STOP SHALL HAVE 1-INCH BODY.



SECTION A-A



**DETAIL
WATER VALVE CONCRETE COLLAR**
(NO SCALE)



**DETAIL
TRENCH DETAIL**
(NO SCALE)

- TRENCH SECTION NOTES:**
- ASPHALT AND ALLEY PATCHES SHALL COMPLY WITH THE APPROPRIATE MUNICIPAL STANDARDS.
 - NEW ASPHALT OR ASPHALT OVERLAY SHALL COMPLY WITH THE PROJECT SPECIFIC STANDARDS PROVIDED IN STREET NOTES.
 - PIPE BEDDING SHALL BE CDOT CLASS 6 AGGREGATE BASE.
 - STRUCTURAL FILL SHALL BE CDOT CLASS 1.
 - FILL AND BEDDING MATERIAL TO BE PLACED IN 12-INCH MAXIMUM LIFTS (COMPACTED DEPTH) TO THE FOLLOWING MINIMUM PERCENTAGES:
 - STREETS, PARKING LOTS, & ALLEYS COMPACTED TO 90% PER ASTM D1557 (MODIFIED PROCTOR).
 - UTILITY EASEMENTS OUTSIDE THE STREET SECTION COMPACTED TO 90% PER ASTM D1557 (MODIFIED PROCTOR).
 - UNDEVELOPED LAND COMPACTED TO 80% PER ASTM D1557 (MODIFIED PROCTOR).
 - INSTALL INSULATED GAUGE 12 TRACER WIRE, TAPED TO THE TOP OF PIPE. (FOR PVC WATER MAIN INSTALLATIONS) AND BROUGHT TO THE TOP OF EACH VALVE BOX.
 - PROVIDE POLYETHYLENE WRAP AROUND DUCTILE IRON PIPE OR FITTINGS. A MINIMUM OF 12" LAPS FOR PIPE WRAP. TAPE WRAP IS ACCEPTABLE FOR FITTINGS.
 - THIS DETAIL IS FOR "DRY" TRENCH CONDITIONS, "WET TRENCH" CONDITIONS CONTRACTOR SHALL PROVIDE A MINIMUM 4" OF 1.5 INCH MINUS WASHED ROCK UNDER PIPE BEDDING MATERIAL WRAPPED WITH FILTER FABRIC (MIRIFI 140N OR APPROVED EQUIVALENT).
 - BEDDING, STRUCTURAL FILL, TOPSOIL, WARNING TAPE, ASPHALT PATCHING AND TRACER ARE CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF THE WATER OR SEWER MAIN AND SHALL BE INCLUDED IN THE UNIT PRICE FOR WATER LINE OR SEWER MAIN INSTALLATION.
 - EXCAVATED MATERIAL CONTAINING RUBBISH, FROZEN MATERIAL, ORGANIC DEBRIS, ASPHALT, CONCRETE OR OTHER DELETERIOUS MATERIAL NOT SUITABLE FOR STRUCTURAL FILL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF MATERIAL IN A FASHION THAT COMPLIES WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. THE OWNER MAY REQUIRE DOCUMENTATION OF PROPER DISPOSAL AS A CONDITION OF FINAL PAYMENT.
 - SEE WATER AND/OR SEWER GENERAL NOTES FOR PIPE SPECIFICATIONS.

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LAKEWOOD, CO 80214
PHONE: 303-623-8600

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TRACY L VANDAVEER CRABTREE GROUP, INC
L.C.E. NO. 38552 EXP. DATE 10/31/19

PREPARED BY:

328 D STREET 918 CUYAMA ROAD
SALIDA, CO 81201 OJAI, CA 93023
PH: 719-539-1675 PH: 719-221-1799

SEAL

DATE	BY	MARK

REVISIONS

NO.	DESCRIPTION	DATE	BY	MARK

CITY OF SALIDA

DESIGNED BY	APPROVED BY:
WBH	
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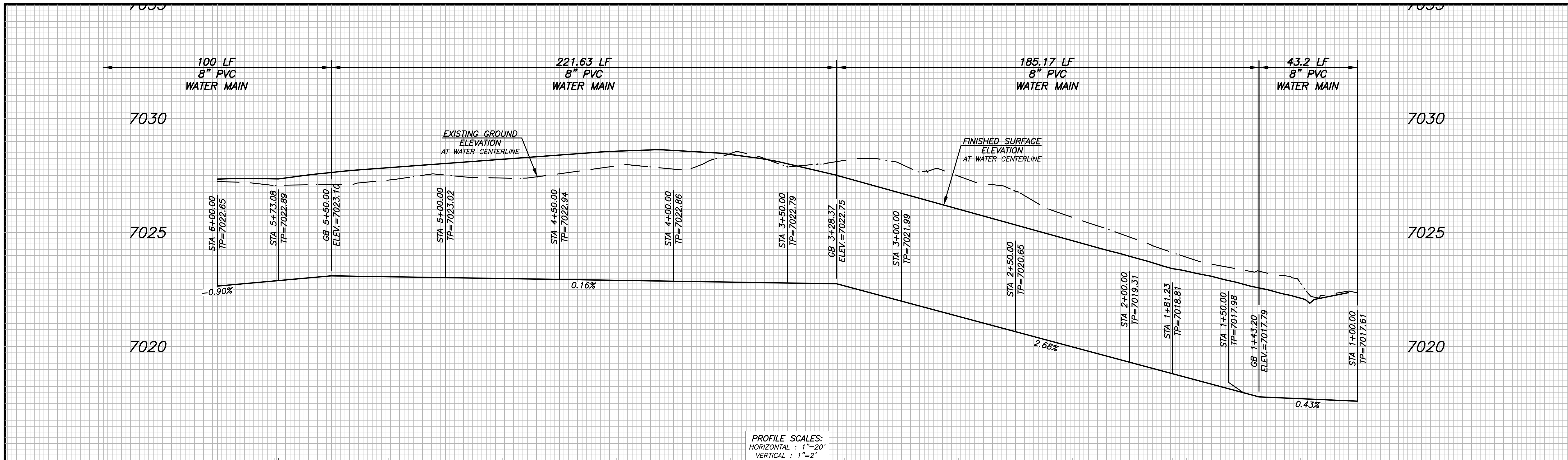
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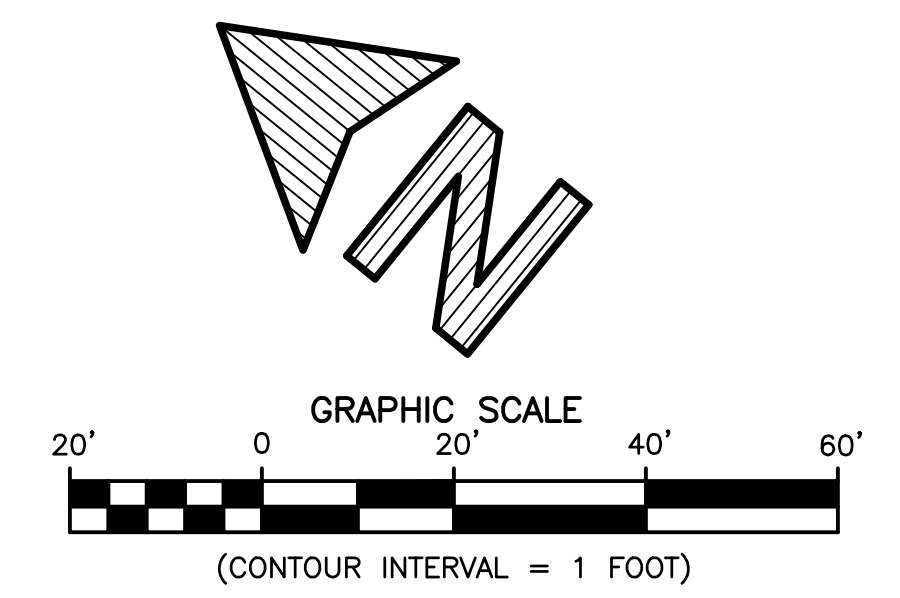
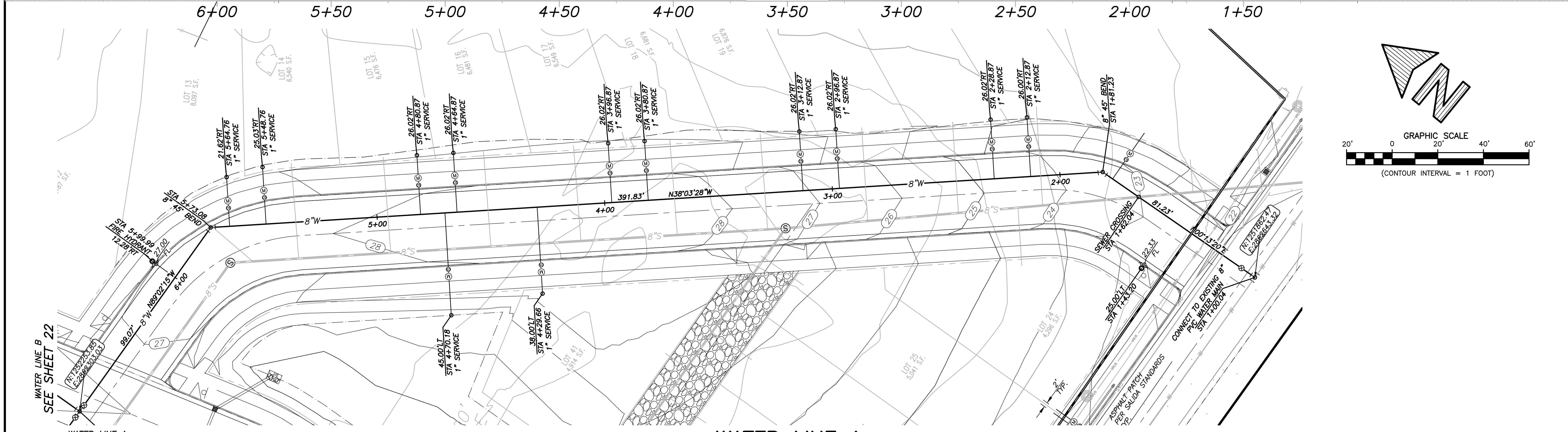
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RIVER RIDGE
SALIDA, CO
WATER PLANS
WATER DETAILS
DETAILS

SHEET NO.
19
OF 24 SHEETS
PROJECT NO.
18031



PROFILE SCALES:
 HORIZONTAL : 1"=20'
 VERTICAL : 1"=2'



WATER LINE A
 STA 1+00.00 TO STA 6+00.00

ISSUED FOR REVIEW 8/26/19


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 770 CRESCENT LANE
 LAKEWOOD, CO 80214
 PHONE: 303-623-8600

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 ENGINEERING SMART GROWTH™

328 D STREET SALIDA, CO 81201 PH: 719-539-1875
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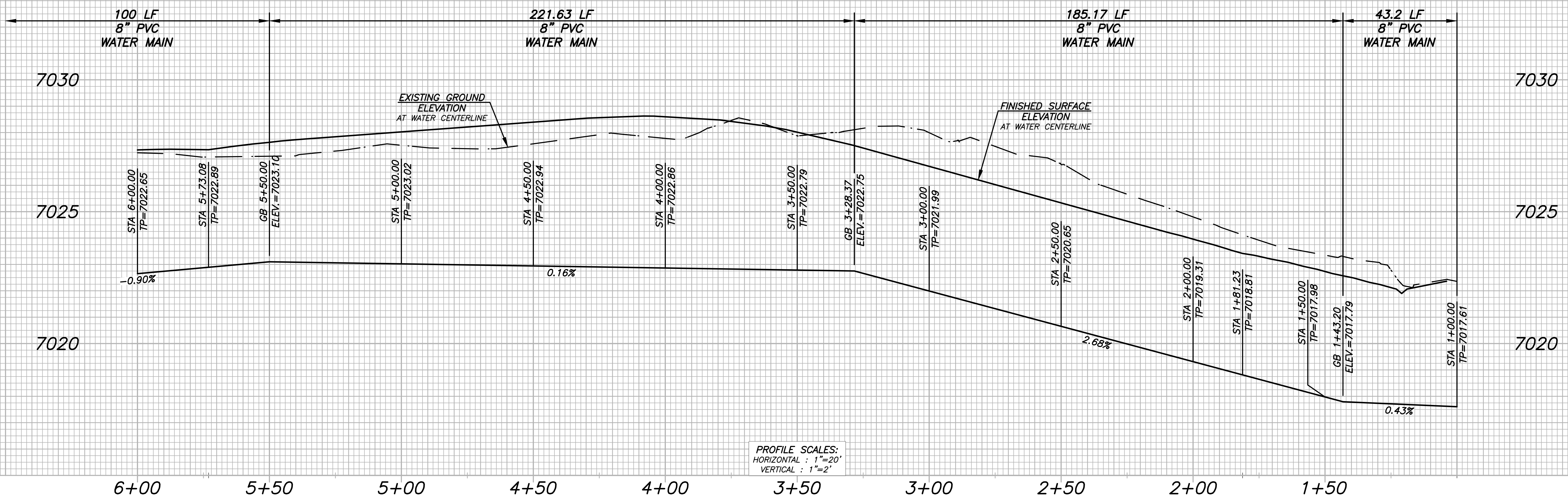
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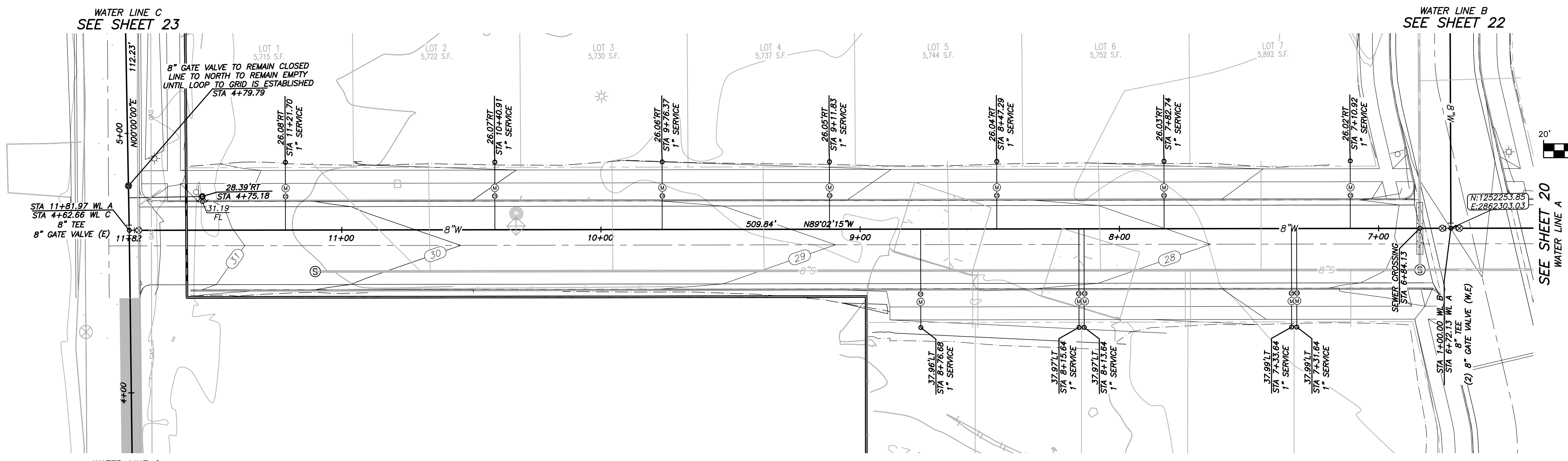
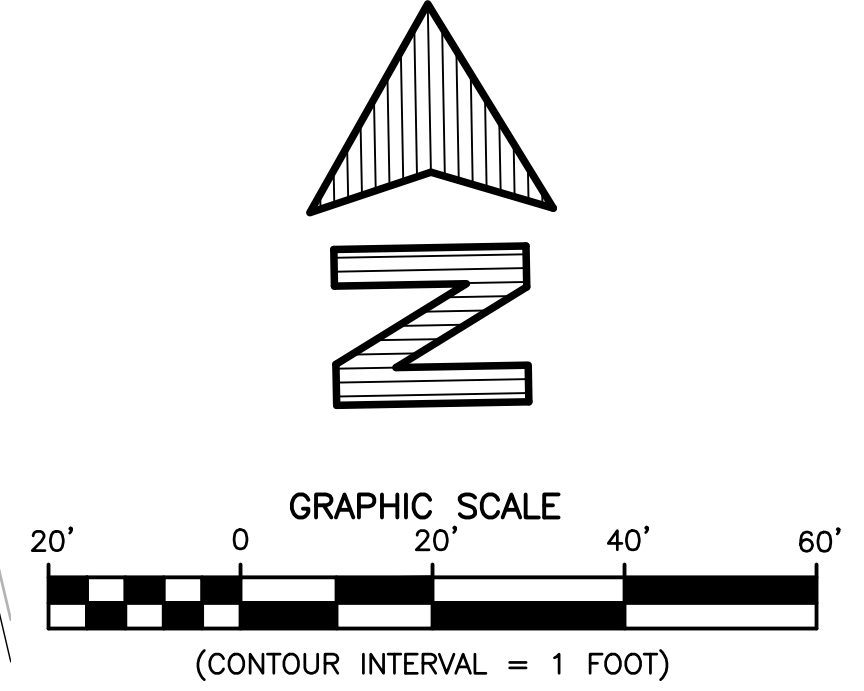
WATER PLAN & PROFILE

WATER LINE A
 STA 1+00.00 TO STA 6+00.00

SHEET NO.
 20
 OF 24 SHEETS.
PROJECT NO.
 18031



PROFILE SCALES:
HORIZONTAL : 1"=20'
VERTICAL : 1"=2'



WATER LINE A
STA 6+00.00 TO STA 11+81.97

ISSUED FOR REVIEW 8/26/19

PRIVATE ENGINEER'S NOTES TO CONTRACTOR
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE COUNTY, THE CITY, THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

PREPARED FOR:
ARKANSAS RIVER LIVING, LLC
770 CRESCENT LANE
LAKEWOOD, CO 80214
PHONE: 303-623-8600

PREPARED UNDER THE DIRECTION OF:
DATE: _____

TRACY L VANDAVEER CRABTREE GROUP, INC
L.C.E. NO. 38552 EXP. DATE 10/31/19

PREPARED BY:

CRABTREE GROUP INC.
ENGINEERING SMART GROWTH™

328 D STREET SALIDA, CO 81201 PH: 719-539-1875
918 CUYAMA ROAD OJAI, CA 93023 PH: 719-221-1799

SEAL

DATE	BY	MARK	ENGINEER

REVISIONS

APPR.	DATE	REVISION AGENCY

CITY OF SALIDA

DESIGNED BY WBH APPROVED BY: _____
DRAWN BY CNB
CHECKED BY WBH AGENCY HEAD DATE _____

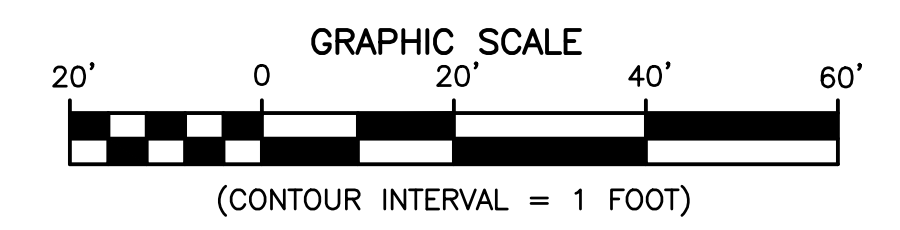
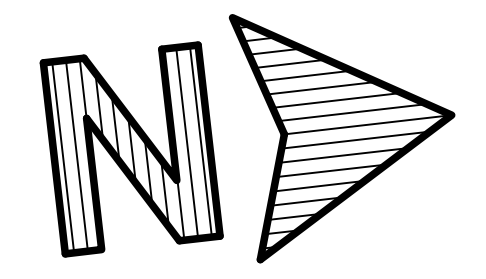
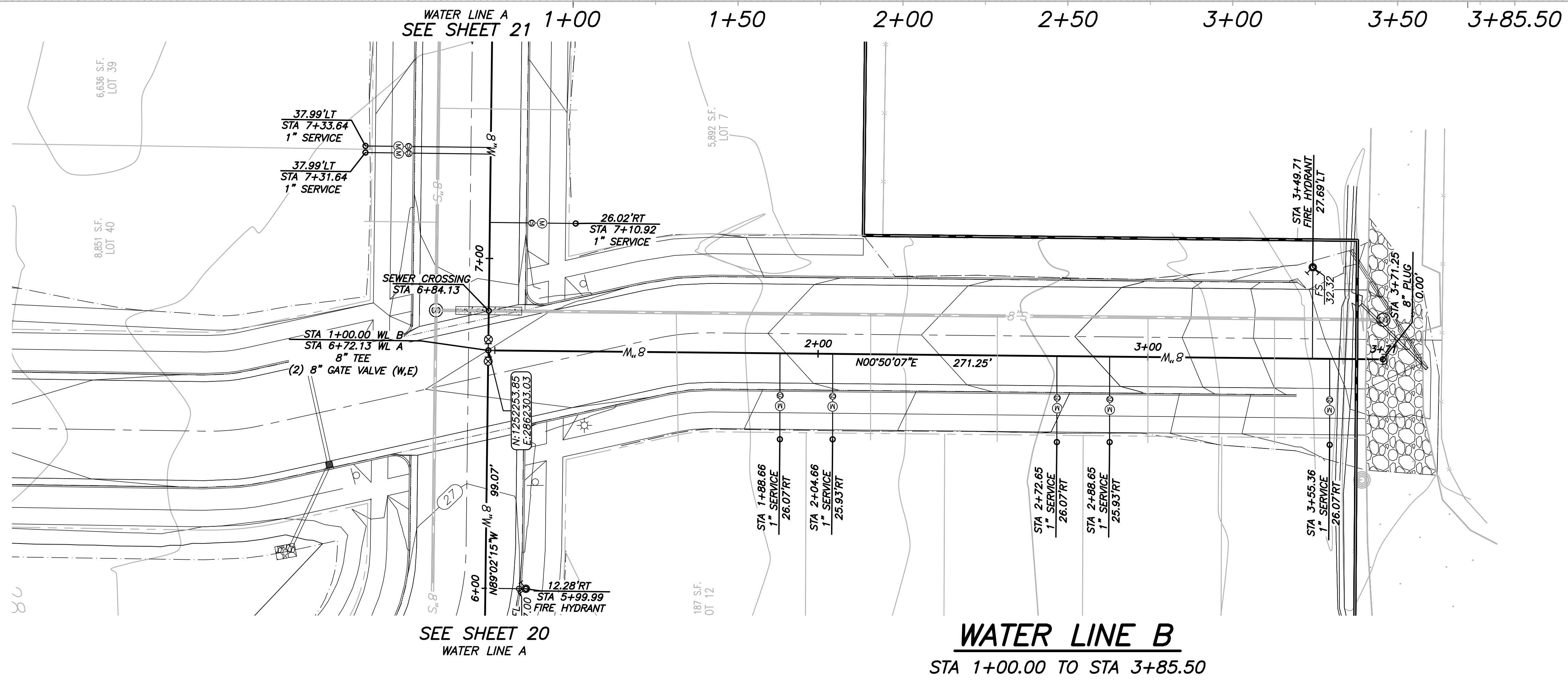
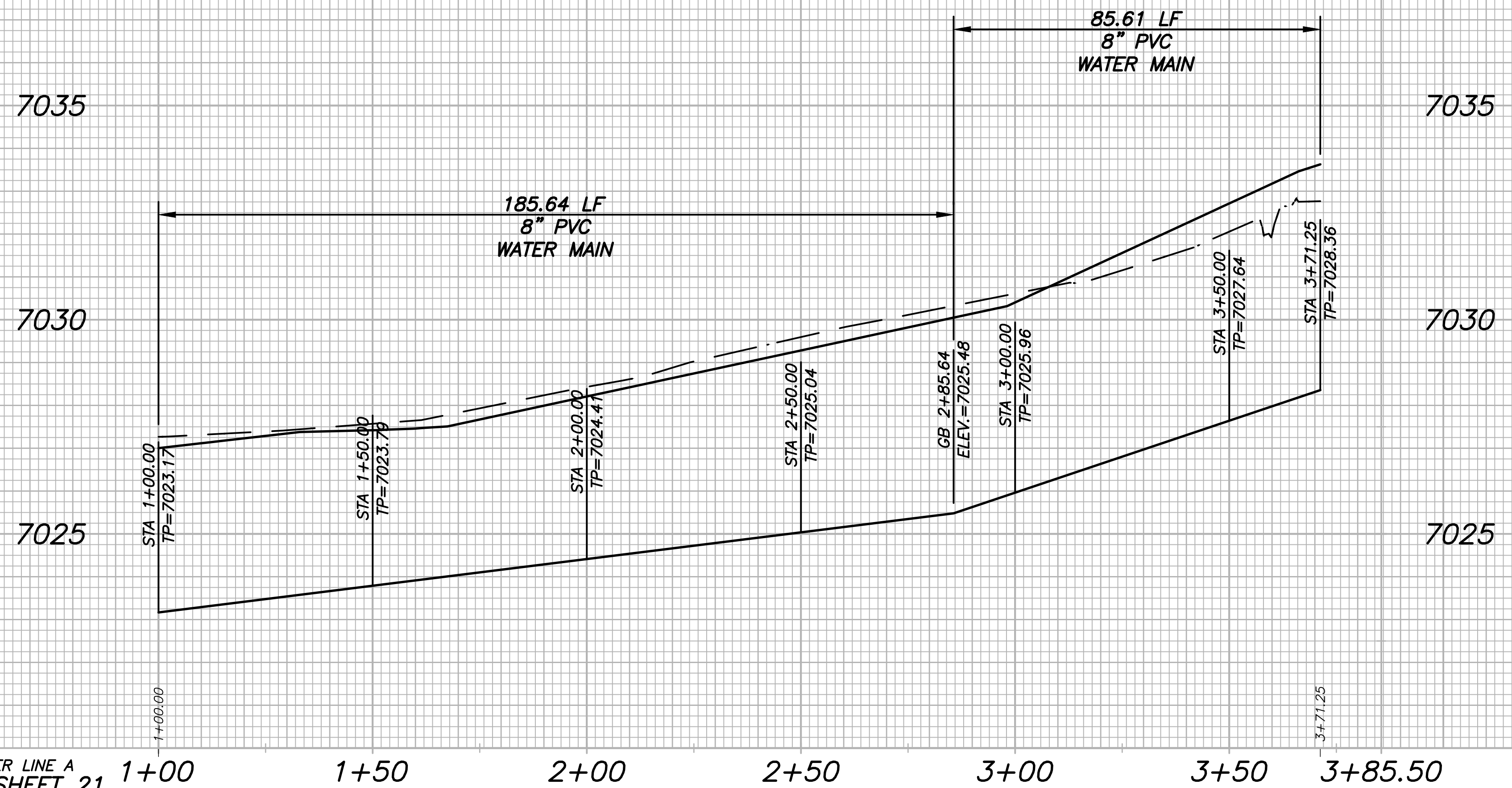
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RIVER RIDGE
SALIDA, CO

WATER PLAN & PROFILE

WATER LINE A
STA 6+00.00 TO STA 11+81.97

SHEET NO.
21
OF 24 SHEETS.
PROJECT NO.
18031



WATER LINE B
STA 1+00.00 TO STA 3+85.50

ISSUED FOR REVIEW 8/26/19

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ENGINEERING SMART GROWTH™

328 D STREET 918 CUYAMA ROAD
SALIDA, CO 81201 OJAI, CA 91323
PH: 719-539-1875 PH: 719-221-1799

SEAL

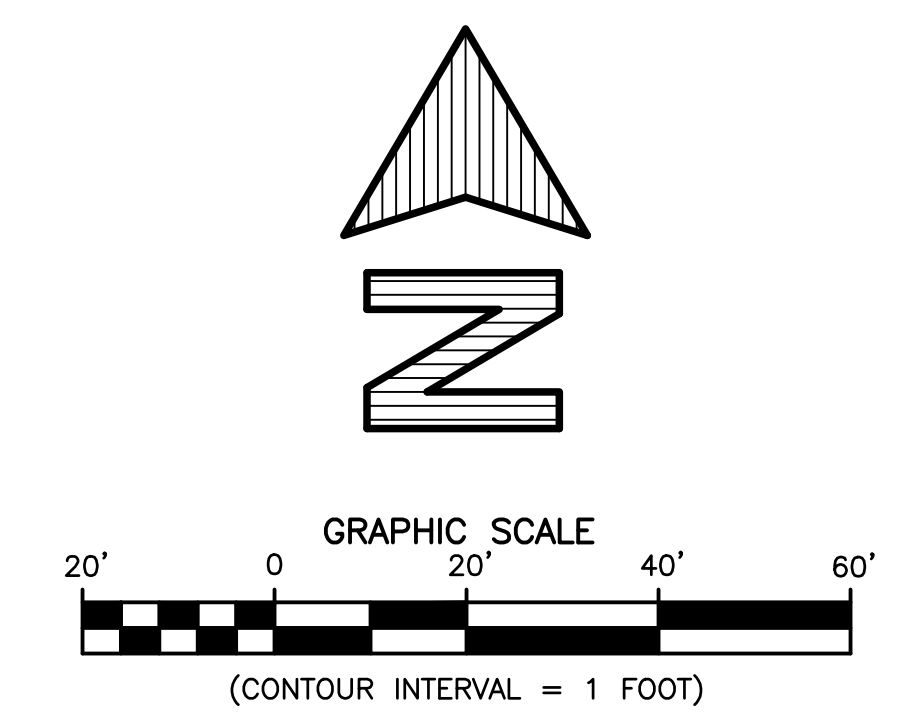
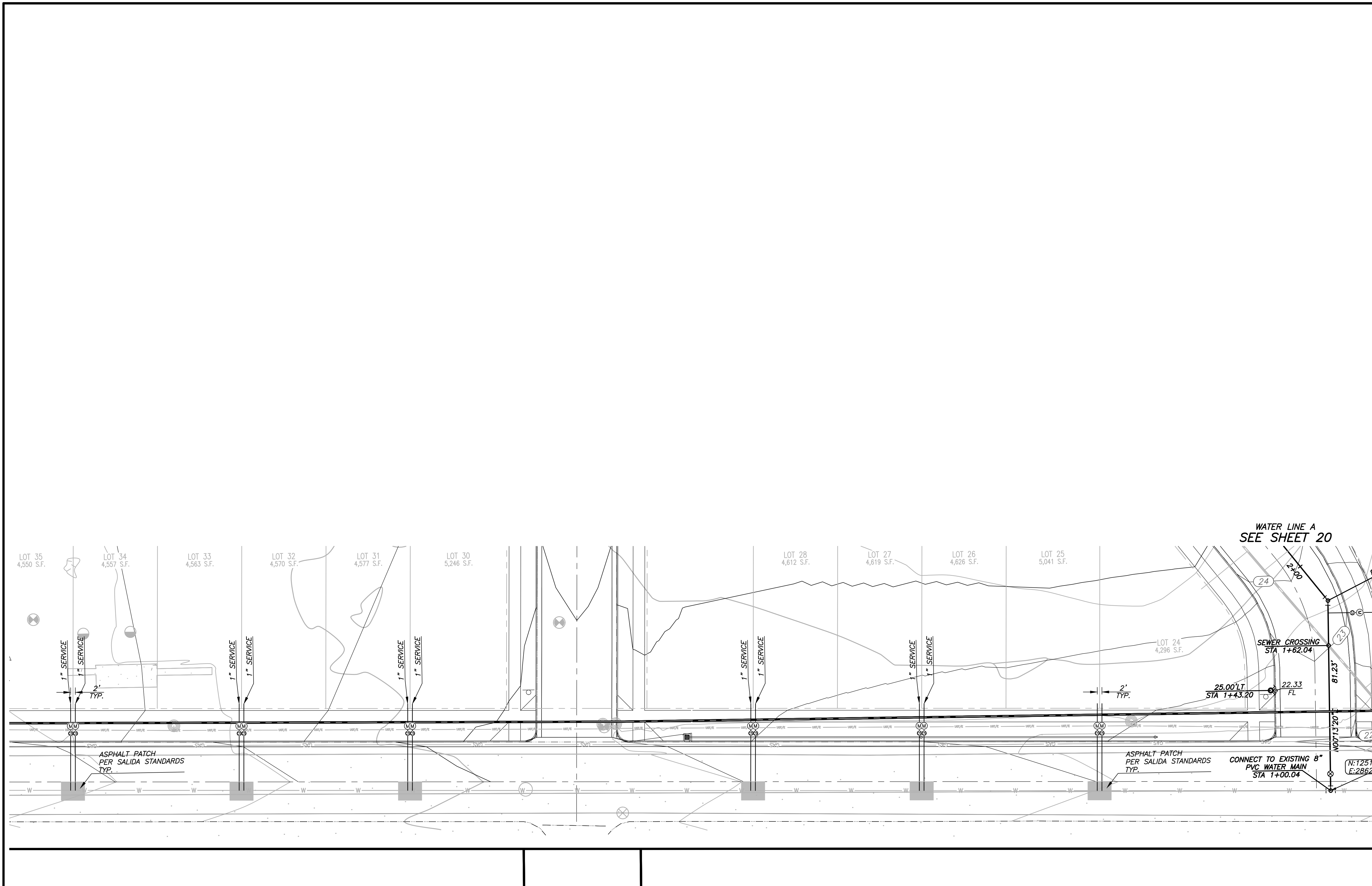
DATE	BY	MARK	ENGINEER

REVISIONS

CITY OF SALIDA	
DESIGNED BY WBH	APPROVED BY:
DRAWN BY CNB	
CHECKED BY WBH	AGENCY HEAD DATE
SCALE 1"=20'	BENCHMARK: 1 1/2" ALUMINUM CAP AT SOUTHEAST CORNER OF SUBJECT PROPERTY STAMPED LS17117, HAVING AN ELEVATION OF 7022.36
DATE AUG. 2019	

RIVER RIDGE
SALIDA, CO
WATER PLAN & PROFILE
WATER LINE B
STA 1+00.00 TO STA 3+85.50

SHEET NO.
22
OF 24 SHTS.
PROJECT NO.
18031



CR 105 WATER PLAN

CR 105 WATER

ISSUED FOR REVIEW 8/26/19


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SEAL

DATE	BY	MARK	REVISIONS	APPR.	DATE	REVISION AGENCY

CITY OF SALIDA

DESIGNED BY WBH	APPROVED BY:
DRAWN BY CNB	AGENCY HEAD
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DATE AUG. 2019	

RIVER RIDGE
 SALIDA, CO
WATER PLAN
CR 105 WATER PLAN
 CR 105 WATER

SHEET NO.
 24
 OF 24 SHTS.
PROJECT NO.
 18031

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September 13, 2019

Mr. Glen Van Nimwegen
Community Development Director
City of Salida
448 East 1st Street
Salida, Colorado 80201
Via email: glen.vannimwegen@cityofsalida.com

www.jvajva.com

RE: River Ridge Floodplain Administrator Review
JVA Job# 3121.1c

Dear Glen:

JVA Inc. has reviewed the River Ridge Civil Engineering Plan documents submitted under an email correspondence dated August 28, 2019. The comments below are based on JVA's review of the proposed civil engineering plans and associated documents for conformance with the City of Salida Flood Control Code of Ordinances (Code). JVA will likely have additional comments during future development review permit reviews.


1. We assume that all other reviewing agencies have had opportunity to comment and any required changes to the plans that come from these comments will be made.
2. Provide limits of FEMA regulated floodplain and floodway on all plans, and provide an overall grading and drainage plan that shows regulated floodplain and floodway limits to determine if these civil engineering plans need to be further reviewed by the Floodplain Administration for encroachment into the floodplain. If there is no encroachment into the floodplain, there will be no further Floodplain Administrator comments as part of this review.
3. A Floodplain Development Permit (FDP) through the Special Flood Hazard Area (SHFA) Development Permit is required for any and all development/grading within the SHFA i.e. 100-year floodplain. The FDP shall meet the permit procedures set forth in Section 16-11-150, and contain certified drawings demonstrating:
 - a. Any new residential structures and manufactured homes shall have the lowest floor (including basement), elevated to one (1) foot above the base flood elevation (BFE). Upon completion of the structure, the elevation of the lowest floor, including basement, shall be certified by a registered Colorado Professional Engineer, architect, or land surveyor;
 - b. All new construction shall be designed and adequately anchored to prevent floatation, collapse or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy;
 - c. All new construction shall be constructed by methods and practices that minimize flood damage, and with materials resistance to flood damage;
 - d. All new construction shall be constructed with electrical, heating, ventilation, plumbing, and air conditioning equipment and other service facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding;
 - e. All new water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system; and



- f. All new sanitary sewerage systems shall be designed to minimize or eliminate infiltration of flood waters into the system, and discharge from the systems into flood water. Sanitary sewer manholes within the floodplain shall be gasketed and locked.
4. Floodway encroachments are prohibited, including fill, new construction, substantial improvements and other development within the adopted regulatory floodway unless it has been demonstrated through hydrologic and hydraulic analyses performed by a licensed Colorado professional engineer and in accordance with standard engineering practice that the proposed encroachment would not result in any increase (requires a no-rise certification) in flood levels within the community during the occurrence of the base flood discharge. (BFE)
5. Applicant may be subject to additional comments upon future review of regulated floodplain and floodway limits.

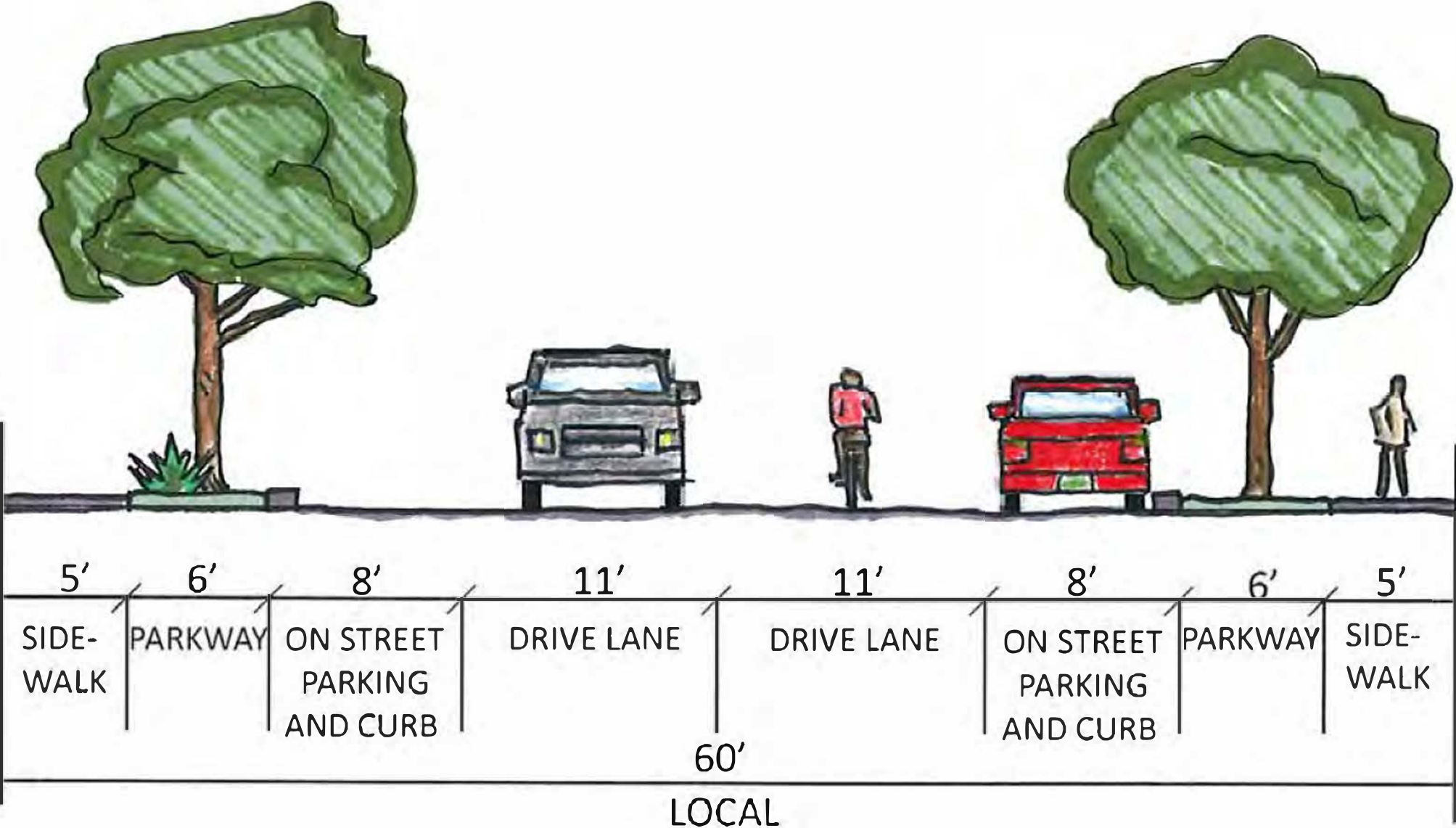
We look forward to verifying the above comments in a future submittal. Please feel free to reach out to us if you have any comments or questions.

Sincerely,
JVA, INCORPORATED

By: 

Mark G. Rocheleau, P.E., CFM
Project Engineer

Figure 10.3
Preferred Road Design - Local Streets





September 17, 2019

RE: River Ridge Subdivision
Plan review comments

To: Glen VanNimwegen, Community Development Director

Public Works has completed review of the civil engineering construction plans for River Ridge subdivision, dated August 2019. Comments are as follows:

Plat

1. Describe ownership of parcels including Park Tract and Alleys.
2. Easement at the north end of Lot 8 shall also include 'Access and Drainage Easement.'
3. Drainage easement may be necessary on east side of Lot 23 to address comments pertaining to stormwater discharge.

Construction Plans

1. Provide plans for storm water detention facilities and point discharge BMP's in construction plans in accordance with City of Salida Design Criteria Manual.
2. Review the adjacent plans for the proposed Dutch Run Subdivision and ensure that the standard street section is matched and that horizontal and vertical control are maintained. Coordinate with adjacent developer as necessary.
3. Sheet numbers on street index sheet (SH-2) need corrected.
4. The street details (SH-3) need corrected to match the City of Salida's standard street sections. Insert City of Salida standards detail sheets.
5. Remove the proposed french drains (SH-3, SH-11) behind the curb in the right-of-way and address the stormwater point discharge increase at the Old Stage Road Right-of-Way. The storm drainage shall be adequately conveyed in the Right-of-Way or easements with proper BMP's in place in accordance with Salida's Design Criteria Manual.
6. Provide 15-ft radius at the west side of the Scott St. and River Ridge Lane intersection and terminate vertical curb and gutter with a 6-ft taper (SH-4).
7. Provide 15-ft radius's at the intersection with Illinois Ave. and terminate vertical curb with a 6-ft taper (SH-7).
8. Identify ADA ramps on the opposite side of Old Stage Road at proposed road connections and modify crossings as necessary to ensure conformance with ADA standards and requirements.

9. Sheet numbers on sewer index sheet need corrected.
10. Identify Tie-In Manhole as MH-17D. Note 'Core Drill Existing Manhole and Grout with Non-Shrink Grout.' (SH-14)
11. Identify existing hydrants and valves on the water cover sheet (SH-18).
12. Call-out street names and lot numbers on plan and profile sheets.
13. Water service line to be extended to beyond the property line (SH-19).
14. A plug shall be provided north of the hydrant tee at the intersection of Illinois. The service line shall be located south of the hydrant (SH-22).
15. A hydrant shall be provided at the end of the dead-end line on Scott St. Review the location of hydrant and tee at the intersection of River Ridge Lane and Scott St. (SH-23).
16. It appears that underground electric is proposed between the curb stop and meter pits along Old Stage Road. Revise location of facilities to prevent this conflict (SH-24).

It is requested that the comments be addressed and resubmitted for review.

Sincerely,

A handwritten signature in cursive script that reads "David Lady".

David Lady, P.E.
City of Salida
Director of Public Works

Legal Notice

CPAXLP

**PUBLIC NOTICE
NOTICE OF PUBLIC HEARING BEFORE
THE PLANNING COMMISSION FOR THE
CITY OF SALIDA CONCERNING A MAJOR
SUBDIVISION APPLICATION**

TO ALL MEMBERS OF THE PUBLIC AND INTERESTED PERSONS: PLEASE TAKE NOTICE that on September 23, 2019 at or about the hour of 6:00 p.m., a public hearing will be conducted by the City of Salida Planning Commission at City Council Chambers, 448 East First Street, Suite 190, Salida, Colorado on an application submitted by and on behalf of Arkansas River Living, LLC, for 9.06 acres generally located between Old Stage Road (CR 105) north to Illinois Avenue; and the Arkansas River west to Scott Street. The property address is 786 Scott Street.

The applicant wishes to subdivide the property which is zoned R-3, High Density Residential District and R-4, Manufactured Housing Residential District, into approximately 41 lots.

Any recommendation by the Planning Commission for the Major Subdivision shall be forwarded to the City Council for review and public hearing.

Interested persons are encouraged to attend the public hearing. Further information on the application may be obtained from the Community Development Department, (719) 530-2631.

Published in The Mountain Mail September 6, 2019

September 20, 2019

TO: Glen Van Nimwegen

FROM: Joe DeLuca

SUBJECT: Request for Street Cross Section Variance for Rivers Edge Subdivision

Rivers Edge Subdivision is requesting a variance from the City of Salida Public Works Standards for the subdivision's streets.

Rivers Edge has worked with the City Staff for the last 18 months to optimize the street connectivity and layout to create a quality residential neighborhood with a Sense of Place.

Rivers Edge presented the concept of a street with 5-foot sidewalks, 6-foot parkways, and a 34-foot-wide street with a 60 foot right of way at the combined Council and Planning and Zoning concept review meeting June 2016. No issues with the proposed section were identified at the meeting.

Typically, communities have a variety of street sections in their standards that are selected from based on the expected traffic levels and the type of development the street supports. Salida only has one street section.

Street sections are typically selected with the following considerations:

- Traffic volume (Rivers Edge is a low volume street)
- Type of development (Rivers Edge is residential)
- Minimizing non-permeable area to reduce stormwater run-off by reducing pavement area
- Creation of a beautiful street "Sense of Place" with healthy street trees and maximizing the separation of pedestrians from the traffic lanes.
- Pedestrian Safety, narrower streets reduce the comfortable speed that people drive to 25 mph or less. The chance of a pedestrian death or severe injury is reduced by half by a comfortable speed reduction from 35 mph to 25 mph.
- Reduction in life cycle maintenance and replacement costs for the City: less pavement means less cost for maintenance such as chip seal and replacement costs such as new asphalt. Larger parkways reduce damage to sidewalks and curbs from tree roots.
- Matching the area street grid: Rivers Edge street Treat Lane connects to Two Rivers street Treat Lane which is a 50 foot right of way with the same lane and parking width. Rivers Edge also connects with Scott Street which is a low volume narrow two-lane street.
- Noise reduction: Lower speeds reduce street noise.
- Street Tree Health: larger parkways provide a better.
- Smaller streets are greener in general for the environment.

September 20, 2019

Public Works and Community Development departments have stated they have no issues with the proposed street section.

In summary: The proposed street section is safer, greener, lower life cycle cost and provides a higher quality of life street with a Sense of Place due to the improved environment for street trees due to the larger planters.

Sincerely;

Joe DeLuca

For and on behalf of Crabtree Group, Inc & Arkansas Valley Living, LLC