



## PLANNING COMMISSION STAFF REPORT

---

**MEETING DATE:** January 22, 2018

**AGENDA ITEM TITLE:** Major and Minor Impact Review – Angel View Townhome Planned Development Overlay and Minor Subdivision

**AGENDA SECTION:** Public Hearing

### **REQUEST / BACKGROUND:**

The applicant is requesting:

- A. A Major Impact Review to approve Planned Development overlay zoning over 5.46 acres currently zoned R-3 (High Density Residential District) for the purpose of revising standards for building setbacks, lot size, lot coverage, parking and related standards as part of the Angel View Town Homes Development Plan generally located at the southwest corner of County Roads 141 and 140; and
- B. A Limited Impact Review to approve the Replat of Lot 3, Angel View Minor Subdivision, to split the 2.62 acre lot into new Lots 3A and 3B, each consisting of 1.31 acres. The Lots are located on the west end of proposed Angel View Town Homes Development Plan at the southeast intersection of County Road 140 and new Shepherd Road.

The applicant received approval for the Angel View Minor Subdivision by the Planning Commission on July 15, 2016. The approval split the 15.33 acre parcel into five lots. The current request only affects Lots 1-3 (5.46 acres). The approval was subject to the following conditions:

1. Pursuant to section 16-6-120(8), Parks Trails and Open Space of the Salida Municipal Code, as may be amended, neither land dedication nor fees-in-lieu have been paid for this subdivision. At the time that residential dwelling units are constructed on any of the lots herein, either by further subdivision or building permit approval, land dedication and/or fees in lieu for parks, trails and open space in the amount then in effect shall be payable to the City prior to issuance of building permits.
2. Pursuant to section 16-6-140, Fair Contributions for Public School Sites, as may be amended, a payment in lieu of land dedication for fair contributions for public school sites shall be paid by the owner of each lot within this subdivision prior to issuance of a building permit for any new residence on such lot.
3. At the time of development of Lot 5 the developer shall be responsible for the cost to design and install water lines built to then current City of Salida construction standards and specifications for the purpose of a looped connection between municipal waterlines located in County Roads 120 and 140.
4. At the time of development of lot 5 the developer shall be responsible for the cost to design and install arterial roadway improvements built to then current City of Salida construction standards and specifications. (Shepherd Road)

**Property Owner:** Harder-Diesslin Development Group, LLC

**Applicant:** Walt Harder

**Existing Land Use:** Currently Lot 1 is under construction for nine condominiums/apartments in accordance with the R-3 zoning that exists on the site. The remaining property is vacant.

**Surrounding Land Use and Zoning:**

- North: Residential; Chaffee County RES;
- East: Church; R-3; L.D.S. Church
- South: Vacant; R-3; Harder-Diesslin Development Group, LLC
- West: Vacant; R-3; Harder-Diesslin Development Group, LLC



**PROPOSED ZONING AND DEVELOPMENT PLAN**

The applicant is proposing the Planned Development overlay be placed on the site to create a subdivision of attached townhouses, each on their separate lot, fronting on a private street with a public water and sewer main. In Table 1 below staff has identified the requested changes to the dimensional standards.

**Table 1**

<b>Dimensional Standards</b>	<b>Existing R-3</b>	<b>Proposed PD</b>
Min. Lot Square Footage for Attached Units	2,400	1,950
Maximum Lot Coverage for Structures	45%	70%
Minimum Landscape Area	30%	15%
Front Setback Primary	20 feet	5 feet
Rear Setback Accessory Structure (detached garage)	5 feet	5 feet
Side Setback Accessory Structure (detached garage)	3 feet	0-3 feet*
Maximum Bldg. Height for Primary	35 feet	35 feet
Maximum Building Height for Accessory	25 feet	25 feet
Maximum Density (units per acre)	18 units per acre	13 units per acre
Maximum Units	99	72

\*0 setback where attached; 3 feet on opposite side yard.

The proposed Planned Development seeks the following changes to the underlying R-3 district:

1. Dimensional Standards. The above changes in lot area, lot coverage and setbacks.
2. Density. Even though the applicant is requesting the minimum lot size be reduced to 1,950 square feet, the overall number of units will be capped at 72, thereby reducing the density.
3. Parking. The parking requirement for multi-family units is 1 space for the first unit in the building, plus 1.5 spaces for the remaining units in the building. As the project is conceptually drawn the project has at least two spaces per lot per unit, with additional parking in the private drive. However, the developer would like the option of introducing smaller one-bedroom units in a future phase.

Therefore they are requesting that for the one-bedroom units the parking standard be one space per one-bedroom unit for the first nine units in a phase; thereafter 1.5 spaces for the remaining units in the phase.

4. Permitted Uses. The applicant is requesting that four units per phase, or one unit per building, be allowed to have Short Term Rentals (STR). Our current standards are that in the residential zones of R-1, R-2, R-3 and R-4 that there be only one STR per block and the total cap on the units is 3.5% of the total units in these districts.

### **THE CITY OF SALIDA COMPREHENSIVE PLAN**

Generally zoning should be consistent with the community’s comprehensive plan. The following Policies, Actions and Principles apply to the proposal.

Action LU&G-I.1b: New development should complement the neighborhood’s mass and scale.

This project’s neighborhood is in an area that is predominately single-family homes. However, the requested planned development will actually limit the density to bring it closer to the neighborhood’s mass and scale.

Action LU&G-I.2a: Encourage projects to use maximum density allowances to make the best use of the available infrastructure.

The proposed project is actually reducing the allowed density. Infrastructure will be extended by the development.

Action LU&G-I.2b: Encourage and incentivize the provision of affordable units where they were removed to make room for new development.

Existing housing was not removed for this project. However the applicant is proposing to designate a minimum of two units per phase as workforce housing (11%). Staff is recommending this be increase to 12% to be consistent with recent approvals, and designating the units to be affordable to households with up to an 80% Average Median Income.



Phase 1 of Angel View

Action LU&G-I.2e: Focus new development in the Salida area within the Municipal Services Area to ensure adequate provision of services and limit sprawl development around the city.

The site is within the Municipal Service Area.

Policy ES-I.1: Development and/or expansion of existing development should not encroach on important visual resources.

The Plan goes on to state the Land Use Code should be amended to give direction on how to avoid detracting from valued visual corridors as seen from public rights-of-way. Also we should engage the public to identify what are the important visual resources. This has not been done. However, no additional height is being requested.

Policy H-I.1: Provide a mix of housing types and densities throughout to address a variety of incomes and lifestyles.



The project would add another unit type to the mix of units in Salida, an ownership townhouse in a planned development. The project also sets aside a portion of the units to be affordable to Chaffee County workers.

Policy H-II.1: Promote new development projects that contain a variety of housing, including affordable units.

See above.

Policy H-I.4: New neighborhoods should contain a mix of housing types, a variety of lot sizes, open space, parks and amenities and should be connected to services.

The project does contain the same housing form, but will have variety in unit sizes and affordability. There are small private open space areas that are maintained by the HOA. The project will be connected to city services.

Action H-II.3.d: When affordable housing units are provided, ensure the city has a mechanism or partner organization to keep track of and enforce the deed restrictions or land ownership arrangements to ensure the housing remains attainable in the long-term for low and moderate income residents.

Chaffee County currently is advertising for the hiring of a Housing Director who will be charged with qualifying residents for the deed restricted units, and enforce the standards. If this does not occur, there are other organizations the city can contract with for these duties.

Policy LU&G-III.1: Ensure adequate public spaces as a part of new development.

The design is of a tight knit community with reduced front yards to the public street and interior front courtyards to build community among the residents. There are a limited number of public open spaces in each phase. The developer will be providing the in-lieu open space fee.

### **PLANNED DEVELOPMENT EVALUATION CRITERIA:**

Section 16-7-40 (b) of the City of Salida Land Use and Development Code states “the PD Development Plan shall meet the following criteria...unless the applicant can demonstrate that one or more of them is not applicable or that another practical solution has been otherwise achieved.” The applicant’s requests and staff’s comments are listed below.

1. Minimum dimensional standards: The applicant is requesting some variations to the dimensional standards as outlined in Table 1, but the overall density is being reduced.
2. Trails: “Reasonable effort must be made to connect to nearby recreation trails, parks, and public open space such that green corridors define and connect urbanized areas.” The project is adjacent to a concrete trail on the south side of CR 140 and will be providing connections to the trail. In addition the developer will be providing \$3,000 per unit for the city’s open space fund.
3. Ownership and Maintenance: “No PD shall be approved unless the City Council is satisfied that the landowner has provided for or established an adequate organization for the ownership and maintenance of common open space and private roads, drives, parking or other common assets to ensure maintenance of such areas.” The project will be a subdivision that will have an owners association to maintain the common areas, including the front yard landscaping.
4. Water and Sewer: “The developer shall provide municipal water and sewer facilities within the PD as required by the City”. The applicant is proposing a public water and sewer main

to be located within the private drive. The first phase of the plans have been reviewed by the Public Works Department.

5. Residential Density: “Density shall be limited as required by the Planning Commission and City Council upon consideration of the overall development plan, individual characteristics of the subject land and surrounding uses”. The proposed development plan is at 72% of the density that is allowed in the R-3 district.
6. Relationship to the Subdivision Regulations: “Whenever the PD, subdivision, and/or development permit application procedures or requirements overlap, the overlapping procedures or requirements shall not be applied cumulatively, and the procedure or requirement pertinent to the PD application shall supersede the development permit and/or subdivision” (Sec. 16-7-30). There is a minor subdivision proposed to split Lot 3 into two equal pieces. Each phase will require major subdivision approval.
7. Improvement Standards: “The PD may deviate from the Design Standards in Article VIII of the Land Use and Development Code...only if the reasons for such deviations are well documented and are necessary for the purposes of the development.” The only deviation requested is to reduce the parking requirement for the possibility of future one-bedroom units. Staff is supportive of the request is limited to one bedroom units which should generate less parking demands. It will only equate to a reduction of two parking spaces per phase. There are also common parking spaces in the center drive.
8. Maximum Height: No increase in height is being requested.
9. Gross Floor Area: “The gross building floor area of uses other than residential may be limited as required by the City Council upon consideration of the Overall Development Plan, individual characteristics of the subject land and surrounding uses”. There are no other land uses other than residential
10. Permitted Uses: “A PD may include any permitted principal or accessory uses by right and conditional review uses allowed in any other zone...” The applicant is requesting that four units per phase, or one unit per building, be allowed to have Short Term Rentals (STR). Our current standards are that in the residential zones of R-1, R-2, R-3 and R-4 that there be only one STR per block and the total cap on the units is 3.5% of the total units in these districts. In another Planned Development, Two Rivers, the project was granted an exception to the newly adopted rules to allow up to 47% of the *lots* within Phase 1 of the project to be used as STR.
11. Transportation Design: CR 140 was not annexed when the subject property was brought into the City of Salida. We have since entered into an agreement with Chaffee County to set the rules to when property can be annexed into the city and served by municipal services (Three Mile Plan). A provision of the agreement states “The City agrees that in conjunction with the review and approval of proposed annexation and development of properties contiguous to the then existing City limits, it will, when legally possible, annex County roads...” Chaffee County planning staff have put in their comments to “Annex CR 140”.

Therefore staff needs to look at CR 140 as a city road, and this developer needs to contribute to its improvement. Public Works Director David Lady has provided a memo which states additional engineering and geo-technical work needs to be done to have a clear understanding of what the final design of CR 140 should be. Staff is recommending the

developer participate in improving the roadway as part of a future subdivision improvement agreement.

12. Development Standards: Section 16-7-40 (b) (12) of the Salida LUC states that “the PD may deviate from the Development Standards described in this Chapter only if the reasons for such deviations are well-documented and are necessary for realizing the purposes described in the objectives of development. Any variation from the development standards of this Chapter must be specifically addressed and approved in the Overall Development Plan.” The only deviation from the Design Standards is regarding off-street parking which is addressed under #7.
13. Energy Efficient Design: “The PD provides for design that is energy-efficient and reduces the amount of energy consumption and demand of typical development”.
14. Variety in Housing Types: Section 16-7-40 (b) (14) states “Where residential uses are proposed, the PD shall provide for a variety in housing types and densities, other facilities and common open space.” Staff is recommending that 12% of the units be deed restricted, very close to the applicant’s proposal.
15. Fiscal Impacts: The private drives and open space areas are to be maintained by the owners association. The City will provide the police and fire protection and serve the project with water and sewer through public mains. Water and sewer tap fees will help offset long term costs of expanding those systems. The Fair Contributions for Public School Sites fees will be required per residential unit to help offset impacts on the school district.
16. Higher Levels of Amenities: Section 16-7-40 (b) (16) states that the PD shall include “higher levels of amenities than would be achieved by using established zone districts, including open spaces, parks, recreational areas, trails and school sites, will be provided to serve the projected population.” The project does provide a private open space areas. Staff is recommending amenities be added into two of the spaces, at phase 1 and 3.
17. Physical Conditions or Constraints: “There are special physical conditions or objectives of development that the proposal will satisfy to warrant a departure from the standard regulation requirements”. There are no constraints on development of the property.
18. Effect on Adjacent or Nearby Development: “The adjacent and nearby developments will not be detrimentally affected by the proposed PD and approval period”. Staff has heard from a neighbor to the project who requested there be a perimeter fence on CR 140. Staff is recommending this improvement.

#### **SUBDIVISION PLAT COMPLIANCE REVIEW:**

The Replat of Lot 3, Angel View Minor Subdivision merely splits Lot 3 into two equal halves. Ultimately these parcels will be further subdivided through the Major Subdivision process if developed in conformance with the proposed planned development. Staff recommends the Commission approve the plat subject to adding the four conditions of the original Angel View Minor Subdivision (stated on Page 1 of this report).

#### **RESPONSE FROM REFERRAL DEPARTMENTS AND AGENCIES:**

- Salida Fire Department: Doug Bess, Fire Chief, responded “No concerns.”
- Salida Police Department: Terry Clark, Police Chief responded “I have reviewed the plans as submitted. I have no concerns at this time.”

- Chaffee County Planning Department: “Align Dezi Drive and CR 141 intersection, Annex CR 140.”
- Atmos Energy: “We are OK with project.”
- Salida Public Works Department: Public Works Director David Lady provided comments on the improvement plans for phase 1 in a December 29, 2017 memo (attached). He has also provided a memo regarding the future improvement of CR 140 dated January 18, 2018 (attached).

### **RECOMMENDED FINDINGS FOR PLANNED DEVELOPMENT:**

1. This application is consistent with the purposes and objectives of planned developments stated in Section 16-7-40 because it furthers the goals of energy and resource conservation, livability and community, trail connectivity and community facilities in the overall development plan.
2. This application meets the requirements of a Major Impact Review.

### **RECOMMENDED ACTION:**

A. Based upon the criteria for a Planned Development, consistency with the Salida Comprehensive Plan and the findings outlined above, staff recommends the Planning Commission hold a public hearing and recommend approval of the Planned Development to the City Council with the following conditions:

1. The owner shall pay in lieu of land dedication or conveyance for a public school facility an amount of three hundred fifty-four dollars (\$354.00) per residential dwelling unit. The owner may elect for such amount to be paid by the owner of a particular lot and/or unit at the time a residential building permit is obtained.
2. The Development Plan for the entire site shall consist of the “Angel View Townhomes Planned Development Proposal” dated 12/21/2017; and “Angelview Townhomes PD Narrative” dated 12/21/2017.
3. At the time of issuance of a building permit for a building within the project, the developer shall submit the Parks, Trails and Open Space in lieu fees totaling \$3,000 per unit within the building.
4. A minimum of nine of the proposed residential units shall be deed restricted for work force housing to be affordable for households making 80% or less of the Average Median Income for Chaffee County. Owners of said units will not be charged HOA fees. The deed restriction shall address income and employment qualifications; proposed lottery or other equitable system for the initial sale of the units and be approved by the City Council. The enforcement of the deed restrictions will be by the future Chaffee County Housing Office, unless it does not exist at the time of the first sale of a deed restricted unit, in which case it shall be the onus of the City of Salida to designate an appropriate entity.
5. The following changes shall be made to the Development Plan:
  - a. The Dimensional Table shall be amended to correspond to Table 1 contained in this report;
  - b. There shall be a 20 foot building setback adjacent to County Road 140;
  - c. Provide an opaque perimeter fence adjacent to CR 140 with pedestrian openings and connections to the existing pedestrian trail within the CR 140 right-of-way;
  - d. Appropriate play amenities shall be provided for children in phases 1 and 3A or 3B; and



- e. If one-bedroom units are developed in phases 2, 3A or 3B, the following parking standard will apply for those units: one space per one-bedroom unit for the first nine units in a phase; thereafter 1.5 spaces for the remaining one-bedroom units in the phase.
  6. Developer shall make corrections to the Phase 1 improvement plans as described by the Public Works Director.
  7. Developer shall enter into a Subdivision Improvement Agreement to address the improvements required for the project, including future improvement to the south half of CR 140 adjacent to the site. The agreement shall allow appropriate phasing. The agreement shall be approved prior to the approval of any major subdivision for any phase within the project.
  8. The project's architecture shall meet the requirements of Section 16-6-120 (11) which states:  
"To avoid uniformity and lack of variety in design among housing units within the subdivision, no residential façade elevation shall be repeated more than once every five (5) lots on the same side of the street (e.g., the first and fifth lots in a row may contain the same façade elevation, but the second, third, and fourth lots must contain some different façade elevations). No residential elevation shall be repeated directly across the street from the same façade elevation. Mirror images of the same residential façade shall not count as two (2) distinctly different façades. In unusual circumstances, the Planning Commission may grant a petition seeking waiver of this requirement. Such an exception may be granted if the petitioner demonstrates that the proposed plan uses repetition for an architectural purpose, such as allusion to historical repetition that would not create a monotonous streetscape of the type this standard seeks to prevent."
- B. Staff recommends approval of The Replat of Lot 3, Angel View Minor Subdivision subject to adding the four notes that were attached to the original Angel View Minor Subdivision.

#### **RECOMMENDED MOTIONS:**

- A. "I make a motion to recommend the City Council make the recommended findings and approve the proposed Planned Development subject to the conditions outlined by staff;" and
- B. "I make a motion that the proposed Minor Subdivision meets the requirements of Section 16-6-120 and therefore approve the subdivision subject to the conditions as recommended by staff."

#### Attachments:

Angel View Townhomes Planned Development Proposal, dated 12/21/2017

Angelview Townhomes PD Narrative dated 12/21/2017

Public Works Comments dated 12/26/2017

Public Works Comments dated 01/18/2018

**PUBLIC NOTICE**

**NOTICE OF PUBLIC HEARING BEFORE  
THE PLANNING COMMISSION FOR THE  
CITY OF SALIDA CONCERNING MAJOR  
IMPACT AND LIMITED IMPACT REVIEW  
APPLICATIONS**

**TO ALL MEMBERS OF THE PUBLIC  
AND INTERESTED PERSONS: PLEASE  
TAKE NOTICE** that on January 22, 2018,  
at or about the hour of 6:00 p.m., a public  
hearing will be conducted by the City of  
Salida Planning Commission at City Council  
Chambers, 448 East First Street, Suite 190,  
Salida, Colorado on a Major Impact Review  
application and Limited Impact Review  
application submitted by Harder Driesslin  
Development Group, represented by Walt  
Harder.

The applicant is requesting:

- A. A Major Impact Review to approve  
Planned Development overlay zoning  
over 5.46 acres currently zoned R-3 (High  
Density Residential District) for the  
purpose of revising standards for building  
setbacks, lot size, lot coverage, parking  
and related standards as part of the  
Angel View Town Homes Development  
Plan generally located at the southwest  
corner of County Roads 141 and 140; and
- B. A Limited Impact Review to approve  
the Replat of Lot 3, Angel View Minor  
Subdivision, to split the 2.62 acre lot into  
new Lots 3A and 3B, each consisting  
of 1.31 acres. The Lots are located on  
the west end of proposed Angel View  
Town Homes Development Plan at the  
southeast intersection of County Road  
140 and new Shepherd Road.

Any recommendation by the Planning  
Commission for the Planned Development  
shall be forwarded to the City Council for  
review and public hearing.

Interested persons are encouraged to attend  
the public hearing. Further information on  
the application may be obtained from the  
Community Development Department, (719)  
530-2631.

Published in The Mountain Mail January 5,  
2018



December 26, 2017

RE: Angel View Townhomes  
Public Works Plan Review

To: Glen VanNimwegen, Community Development Director

Public Works has completed a review of the Angel View Townhomes received on 12/21/17 with plans dated 11/10/17. Comments are provided below.

1. Provide updated signed/stamped drainage report as required.
2. Sheet C4; call-out right-turn-only sign.
3. Sheet C4 identifies a 22.2' utility easement. Revise/widen utility easements so that all City owned water facilities up to and five feet beyond the meter pit are included within the easement.
4. Sheet C6; provide note at MH#2 that ring and lid shall be rotated so that no part of ring is located within the cross pan.
5. Sheet C7; provide note at existing MH#1 that manhole shall be core drilled, grouted with non-shrink grout, and invert shall be reconstructed.
6. Sheet C9; extend water main with hydrant to south end of Dezi Dr. as previously described by applicant. It is anticipated that this extension will be required for development of parcel to the south which will be required to be on water system high-zone.
7. Sheet C9; confirm size of existing water main connection. City records indicate 12-inch whereas plans call out 8-inch.
8. Sheet C9; update notes to reflect that water service lines and curb stops shall be 1-inch as defined in City of Salida Standards for Construction. Reducer to ¾" is provided at meter pit.
9. Planned irrigation, fire protection, or other use requiring a testable backflow device shall be reported to public works prior to connection pursuant to Ordinance 2017-03.

10. Water and Sewer flow estimates are needed: and shall be expressed in gallons per day (as per Section 16.3.50.6.viii).

Plans shall be resubmitted for review prior to approval. Prior to construction of public improvements, contractor shall provide submittals, executed improvement agreement, and coordinate work activities with Director of Public Works.

Thanks,

A handwritten signature in cursive script that reads "David Lady". The signature is written in black ink on a light-colored background.

David Lady, P.E.  
Director of Public Works  
City of Salida





January 18, 2018

RE: Angel View Townhomes  
Public Works County Road 140 Review

To: Glen VanNimwegen, Community Development Director

It is my understanding that Chaffee County is requesting the City to annex the roadway adjacent to the Angel View development as part of the review comments provided with the PD submittal. This section of roadway was not annexed when the parcel was annexed or at the time of the subdivision approval in 2016.

An informal condition assessment has been completed in-house for the section of County Road 140 adjacent to the property. Comments are provided below.

1. This section of roadway has received periodic maintenance such as chip sealing but does show signs of structural deterioration. Additional geotechnical work is needed to determine asphalt and base thickness. The proposed development and potential for additional annexation to the west could significantly increase traffic loadings to a point where the existing road section is inadequate.
2. This section of road does not currently have curb and gutter which is the standard street section within the City. Other more recent subdivisions such as Two Rivers Subdivision adjacent to annexed CR105 and Cottonwood Green/Crestone Mesa adjacent to annexed CR160 were reconstructed with curb and gutter at time of development. Salida Public Works does not have capital improvements budgeted for this section of roadway. Council may desire to provide feedback regarding desired road section and whether a variance from the standard is acceptable.
3. Engineering would need to be completed to determine drainage impacts but it would appear that there is adequate slope to accommodate curb and gutter. Engineering would also identify how roadway improvements would integrate into the adjacent concrete trail system.

Additional engineering along with feedback from council would be needed to provide a more detailed evaluation with recommendations.

Thanks,

A handwritten signature in black ink that reads "David Lady". The signature is written in a cursive style with a small star above the letter 'i' in "Lady".

David Lady, P.E.

Director of Public Works

City of Salida



### GENERAL DEVELOPMENT APPLICATION

448 East First Street, Suite 112  
Salida, CO 81201  
Phone: 719-530-2626 Fax: 719-539-5271  
Email: [planning@cityofsalida.com](mailto:planning@cityofsalida.com)

**1. TYPE OF APPLICATION** (Check-off as appropriate)

- |  |   |
|--|---|
| <input type="checkbox"/> Annexation                          | <input type="checkbox"/> Administrative Review:<br>(Type) _____ |
| <input type="checkbox"/> Pre-Annexation Agreement            |   |
| <input type="checkbox"/> Variance                            | <input type="checkbox"/> Limited Impact Review:<br>(Type) _____ |
| <input type="checkbox"/> Appeal Application (Interpretation) |   |
| <input type="checkbox"/> Certificate of Approval             | <input type="checkbox"/> Major Impact Review:<br>(Type) _____   |
| <input type="checkbox"/> Creative Sign Permit                |   |
| <input type="checkbox"/> Historic Landmark/District          | <input type="checkbox"/> Other: _____                           |
| <input type="checkbox"/> License to Encroach                 |   |
| <input type="checkbox"/> Text Amendment to Land Use Code     |   |
| <input type="checkbox"/> Watershed Protection Permit         |   |
| <input type="checkbox"/> Conditional Use                     |   |

**2. GENERAL DATA** (To be completed by the applicant)

**A. Applicant Information**

Name of Applicant: Harder Diesslin Development Group

Mailing Address: 112 F Street, Salida, CO 81201

Telephone Number: 719-539-6060 FAX: 719-539-4774

Email Address: walt@waltharder.com

Power of Attorney/ Authorized Representative: \_\_\_\_\_  
(Provide a letter authorizing agent to represent you, include representative's name, street and mailing address, telephone number, and FAX)

**B. Site Data**

Name of Development: Angelview Townhomes

Street Address: TBD County Road 120/140

Legal Description: Lot 1 Block TBD Subdivision Angelview Minor (attach description)

Disclosure of Ownership: List all owners' names, mortgages, liens, easements, judgments, contracts and agreements that run with the land. (May be in the form of a current certificate from a title insurance company, deed, ownership and encumbrance report, attorney's opinion, or other documentation acceptable to the City Attorney)

I certify that I have read the application form and that the information and exhibits herewith submitted are true and correct to the best of my knowledge.

Signature of applicant/agent  Date 11/13/2017

Signature of property owner  Date 11/13/2017



## LIMITED IMPACT & MAJOR IMPACT SUBMITTAL REQUIREMENTS

448 East First Street, Suite 112  
Salida, CO 81201

Phone: 719-530-2626 Fax: 719-539-5271

Email: [planning@citvofsalida.com](mailto:planning@citvofsalida.com)

*An application is meant to highlight the requirements and procedures of the Land Use Code. With any development application, it is the responsibility of the applicant to read, understand, and follow all of the provisions of the Land Use Code.*

### 1. PROCEDURE (Section 16-3-80)

**A. Development Process** (City Code Section 16-3-50) Any application for approval of a development permit shall include a written list of information which shall constitute the applicant's development plan, which shall be that information necessary to determine whether the proposed development complies with this Code. The development plan shall include the following, as further specified for each level of review on the pre-application checklist:

1. Pre-Application Conference (Limited Impact and Major Impact Review Applications)
2. Submit Application
4. Staff Review. Staff report or decision forwarded to the applicant (Administrative review)
5. Public Notice
6. Public Hearing with Planning Commission (Limited Impact and Major Impact Review Applications)
7. Public Notice
8. Hearing Conducted by City Council (Major Impact Review)

### **B. Application Contents** (City Code Section 16-3-50)

1. A copy of a current survey or the duly approved and recorded subdivision plat covering the subject lots where the proposal is for development on previously subdivided or platted lots;
2. A brief written description of the proposed development signed by the applicant;
3. Special Fee and Cost Reimbursement Agreement completed.
4. Public Notice.
  - a) List. A list shall be submitted by the applicant to the city of adjoining property owners' names and addresses. A property owner is considered adjoining if it is within 175 feet of the subject property regardless of public ways. The list shall be created using the current Chaffee County tax records.
  - b) Applicant is responsible for posting the property and mailing public notice to adjoining property owners. Return Address shall be: City of Salida, 448 E. First Street, Suite 112, Salida, CO 81201.
  - c) The applicant must submit notarized affidavits for proof of posting and mailing of the public notice.
5. Developments involving construction shall provide the following information:



(i) A development plan map, at a scale of one (1) inch equals fifty (50) feet or larger with title, date, north arrow and scale on a minimum sheet size of eight and one-half (8½) inches by eleven (11) inches, which depicts the area within the boundaries of the subject lot, including:

- a. The locations of existing and proposed land uses, the number of dwelling units and the square footage of building space devoted to each use;
- b. The location and dimensions, including building heights, of all existing and proposed Buildings or structures and setbacks from lot lines or building envelopes where exact dimensions are not available;
- c. Parking spaces;
- d. Utility distribution systems, utility lines, and utility easements;
- e. Drainage improvements and drainage easements;
- f. Roads, alleys, curbs, curb cuts and other access improvements;
- g. Any other improvements;
- h. Any proposed reservations or dedications of public right-of-way, easements or other public lands, and
- i. Existing topography and any proposed changes in topography, using five-foot contour intervals or ten-foot contour intervals in rugged topography.

(ii) 24" x 36" paper prints certified by a licensed engineer and drawn to meet City specifications to depict the following:

- a. Utility plans for water, sanitary sewer, storm sewer, electric, gas and telephone lines;
- b. Plans and profiles for sanitary and storm sewers; and
- c. Profiles for municipal water lines; and
- d. Street plans and profiles.

(iii) Developments in the major impact review procedure shall provide a development plan map on paper prints of twenty-four (24) inches by thirty-six (36) inches, with north arrow and scale, and with title and date in lower right corner, at a scale of one (1) inch equals fifty (50) feet or larger which depicts the area within the boundaries of the subject lots and including those items in Section 16-3-40(a)(3).

6/17

6. Any request for zoning action, including review criteria for a requested conditional use (Sec. 16-4-190) or zoning variance (Sec. 16-4-180);

7. Any subdivision request including a plat meeting the requirements of Section 16-6-110;

8. Any other information which the Administrator determines is necessary to determine whether the proposed development complies with this Code, including but not limited to the following:

(i) A tabular summary of the development proposal, which identifies the total proposed development area in acres, with a breakdown of the percentages and amounts devoted to specific land uses; total number and type of proposed residential units; total number of square feet of proposed nonresidential space; number of proposed lots; and sufficient information to demonstrate that the plat conforms with all applicable dimensional standards and off-street parking requirements.

(ii) A description of those soil characteristics of the site which would have a significant influence on the proposed use of the land, with supporting soil maps, soil logs and classifications sufficient to enable evaluation of soil suitability for development purposes. Data furnished by the USDA Natural Resource Conservation Service or a licensed engineer shall be used. The data shall include the shrink/swell potential of the soils, the groundwater levels and the resulting foundation requirements. Additional data may be required by the City if deemed to be warranted due to unusual site conditions.

(iii) A report on the geologic characteristics of the area, including any potential natural or man-made hazards which would have a significant influence on the proposed use of the land, including but not limited to hazards from steep or unstable slopes, rockfall, faults, ground subsidence or radiation, a determination of what effect such factors would have, and proposed corrective or protective measures.

(iv) Engineering specifications for any improvements.

(v) A plan for erosion and sediment control, stabilization and revegetation.

(vi) A traffic analysis prepared by a qualified expert, including projections of traffic volumes to be generated by the development and traffic flow patterns, to determine the impacts of a proposed development on surrounding City streets and to evaluate the need for road improvements to be made.

(vii) A storm drainage analysis consisting of the following:

(a) A layout map (which may be combined with the topographic map) showing the method of moving storm sewer water through the subdivision shall be provided. The map shall also show runoff concentrations in acres of drainage area on each street entering each intersection. Flow arrows shall clearly show the complete runoff flow pattern at each intersection. The location, size and grades of culverts, drain inlets and storm drainage sewers shall be shown, as applicable.

(b) The applicant shall demonstrate the adequacy of drainage outlets by plan, cross-section and/or notes and explain how diverted stormwater will be handled after it leaves the subdivision. Details for ditches and culverts shall be submitted, as applicable.

(c) The projected quantity of stormwater entering the subdivision naturally from areas outside of subdivision and the quantities of flow at each pickup point shall be calculated.

(viii) Evidence of adequate water supply and sanitary sewer service - Data addressing the population planned to occupy the proposed subdivision and future development phases and other developments that may need to be served by extensions of the proposed water supply and sewage disposal systems. The resulting domestic, irrigation and fire flow demands shall be expressed in terms of gallons of water needed on an average day and at peak time, and the resulting amounts of sewage to be treated shall be expressed in gallons per day.



(ix) An analysis shall be submitted addressing how water for domestic use and for fire flows is to be provided, along with the collection and treatment of sewage generated by the property to be subdivided.

(x) A statement shall be submitted addressing the quantity, quality and availability of any water that is attached to the land.

(xi) A preliminary estimate of the cost of all required public improvements, tentative development schedule (with development phases identified), proposed or existing covenants and proposed maintenance and performance guarantees. The applicant shall submit, at least in summary or outline form, any agreements as may be required by Section 16-2-70, relating to improvements and dedications.

(xii) If intending to use solar design in the development, include a description of the steps that have been taken to protect and enhance the use of solar energy in the proposed subdivision. This shall include how the streets and lots have been laid out and how the buildings will be sited to enhance solar energy usage.

(xiii) If applicable, a report shall be submitted identifying the location of the one-hundred-year floodplain and the drainageways near or affecting the property being subdivided. If any portion of a one-hundred-year floodplain is located on the property, the applicant shall also identify the floodway and floodway fringe area. The applicant shall also describe the steps that will be taken to ensure that development locating in the floodway fringe area is accomplished in a manner which meets Federal Insurance Administration standards.

(xiv) If applicable, a report shall be submitted on the location of wetlands, as defined by the U.S. Army Corp of Engineers, on or affecting the property being subdivided. The report shall outline the development techniques planned to ensure compliance with federal, state and local regulations.

(xv) A landscape plan, meeting the specifications of Section 16-8-90.

(xvi) If applicable, a description of how the proposal will comply with the standards of any of the overlays.

(xvii) A site plan for parks, trails and/or open space meeting the requirements of Section 16-6-110 below. If an alternate site dedication or fee in lieu of dedication is proposed, detailed information about the proposal shall be submitted.

(xviii) All development and subdivision naming shall be subject to approval by the City. No development or subdivision name shall be used which will duplicate or be confused with the name of any existing street or development in the City or the County;

N/A  9. An access permit from the Colorado Department of Transportation; and

N/A  10. A plan for locations and specifications of street lights, signs and traffic control devices.

**2. REVIEW STANDARDS** (If necessary, attach additional sheets)

The application for Limited or Major Impact Review shall comply with the following standards.

1. **Consistency with Comprehensive Plan.** The use shall be consistent with the City's Comprehensive Plan.

This project will provide space for multi-family housing and potentially assisted living; both large needs of this community.

2. **Conformance to Code.** The use shall conform to all other applicable provisions of this Land Use Code, including, but not limited to:

- a. Zoning District Standards. The purpose of the zone district in which it is located, the dimensional standards of that zone district, and any standards applicable to the particular use, all as specified in Article 5, Use and Dimensional Standards.

See page 6

- b. Site Development Standards. The parking, landscaping, sign and improvements standards.

Will meet or exceed all standards.

3. **Use Appropriate and Compatible.** The use shall be appropriate to its proposed location and be compatible with the character of neighboring uses, or enhance the mixture of complementary uses and activities in the immediate vicinity.

Multi-family housing is already present in the immediate area. Excellent access and central location make this an excellent site for a multi-family project.



**4. Nuisance.** The operating characteristics of the use shall not create a nuisance and the impacts of the use on surrounding properties shall be minimized with respect to noise, odors, vibrations, glare, and similar conditions.

Additional residential use will have only incremental impact on surrounding area but maintain current character and use.

**5. Facilities.** There shall be adequate public facilities in place to serve the proposed use, or the applicant shall propose necessary improvements to address service deficiencies which the use would cause.

N/A

**6. Environment.** The use shall not cause significant deterioration to water resources, wetlands, wildlife habitat, scenic characteristics, or other natural features. As applicable, the proposed use shall mitigate its adverse impacts on the environment.

No significant environmental impacts are expected as a result of this development.

2. a. Developer seeks relief in requirement sq. ft./lot and lot frontage req. in order to attain TOWNHOUSE status for purposes of creating attainable workforce housing.

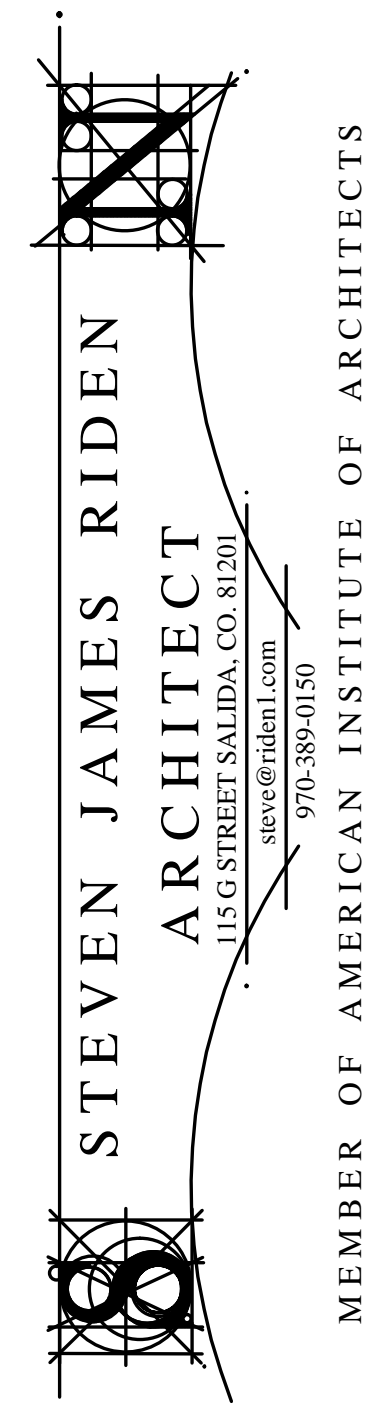
## Angelview Townhomes Subdivision Notification List

- 1 7990 COUNTY ROAD 140 MITCHELL JAMES W MITCHELL ELKE M  
PO BOX 447  
SALIDA, CO 81201
- 2 7680 COUNTY ROAD 140 FRANK WILLIAM TERRY  
7680 COUNTY ROAD 140  
SALIDA, CO 81201
- 3 MEADOWLARK DR SALIDA QUALITY FARMS LLC  
225 G ST  
SALIDA, CO 812012018
- 4 7735 COUNTY ROAD 120 ROWLAND JACK R  
7735 COUNTY ROAD 120  
SALIDA, CO 81201
- 5 7618 COUNTY ROAD 120 ENGLES ROBERT G  
7618 CR 120  
SALIDA, CO 81201
- 6 7800 COUNTY ROAD 120 SALIDA QUALITY FARMS LLC  
225 G ST  
SALIDA, CO 812012018
- 7 7600 COUNTY ROAD 120 HEADWATERS MEDIA LLC THREE EAGLES  
COMMUNICATION LLC  
ATTN: ACCOUNTS PAYABLE DEPT  
7600 COUNTY ROAD 120  
SALIDA, CO 812019423
- 8 7580 COUNTY ROAD 120 DAVIS DEBORAH S DAVIS GLEN H  
PO BOX 112  
HASWELL, CO 810450112
- 9 7560 COUNTY ROAD 120 REES ADRIENNE L  
1872 RACE ST  
DENVER, CO 802061116
- 10 7530 COUNTY ROAD 120 LUCERO STEVE K LUCERO MARLA J  
5 SAN MARINO CT  
PUEBLO, CO 810053908

- |    |                       |  |
|----|-----------------------|--|
| 11 | 7500 COUNTY ROAD 120  | MCCORMICK WILLIAM MCCORMICK VICTORIA<br>7500 COUNTY ROAD 120<br>SALIDA, CO 812010000   |
| 12 | 7450 COUNTY ROAD 120  | WITTER HARRY C REV TR 50 INT WITTER CAROL J REV TR 50 INT<br>WITTER CAROL & HARRY TRUSTEES<br>7450 COUNTY ROAD 120<br>SALIDA, CO 81201 |
| 13 | COUNTY ROAD 120       | SMITH NIKI DAMERON<br>10403 E BERRY DR<br>GREENWOOD VILLAGE, CO 801113707  |
| 14 | COUNTY ROAD 120       | HARDER DIESSLIN HOLDINGS LLC<br>112 F ST<br>SALIDA, CO 812012102   |
| 15 | 7415 COUNTY ROAD 120  | CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS<br>330 S 3RD ST<br>SALT LAKE CITY, UT 841110000  |
| 16 | 1140 PONCHA BLVD      | CHURCH OF JESUS CHRIST OF LATTER OF LATTER DAY SAINTS<br>50 E NORTH TEMPLE<br>SALT LAKE CITY, UT 841500000                             |
| 17 | 22 SILVER SPRUCE DR B | BENSON STEVEN HARRY BENSON CLAUDIA JEAN<br>1664 S CLARKSON ST<br>DENVER, CO 802102704  |
| 18 | 7401 COUNTY ROAD 141  | CANNON D MARLENE CANNON JERRY LEE<br>7401 COUNTY ROAD 141<br>SALIDA, CO 812019469  |
| 19 | 7525 COUNTY ROAD 140  | SMITH JANET E & SMITH WILLIAM E CAROTHERS DAVID J & RICKY<br>7525 COUNTY ROAD 140<br>SALIDA, CO 81201                                  |
| 20 | 7555 COUNTY ROAD 140  | GRANNELL RONALD B & MARY R<br>7555 COUNTY ROAD 140<br>SALIDA, CO 81201   |
| 21 | Not shown             | HEWITT PAUL G REV TRUST<br>300 BEACH DR NE<br>SAINT PETERSBURG, FL 337013482   |

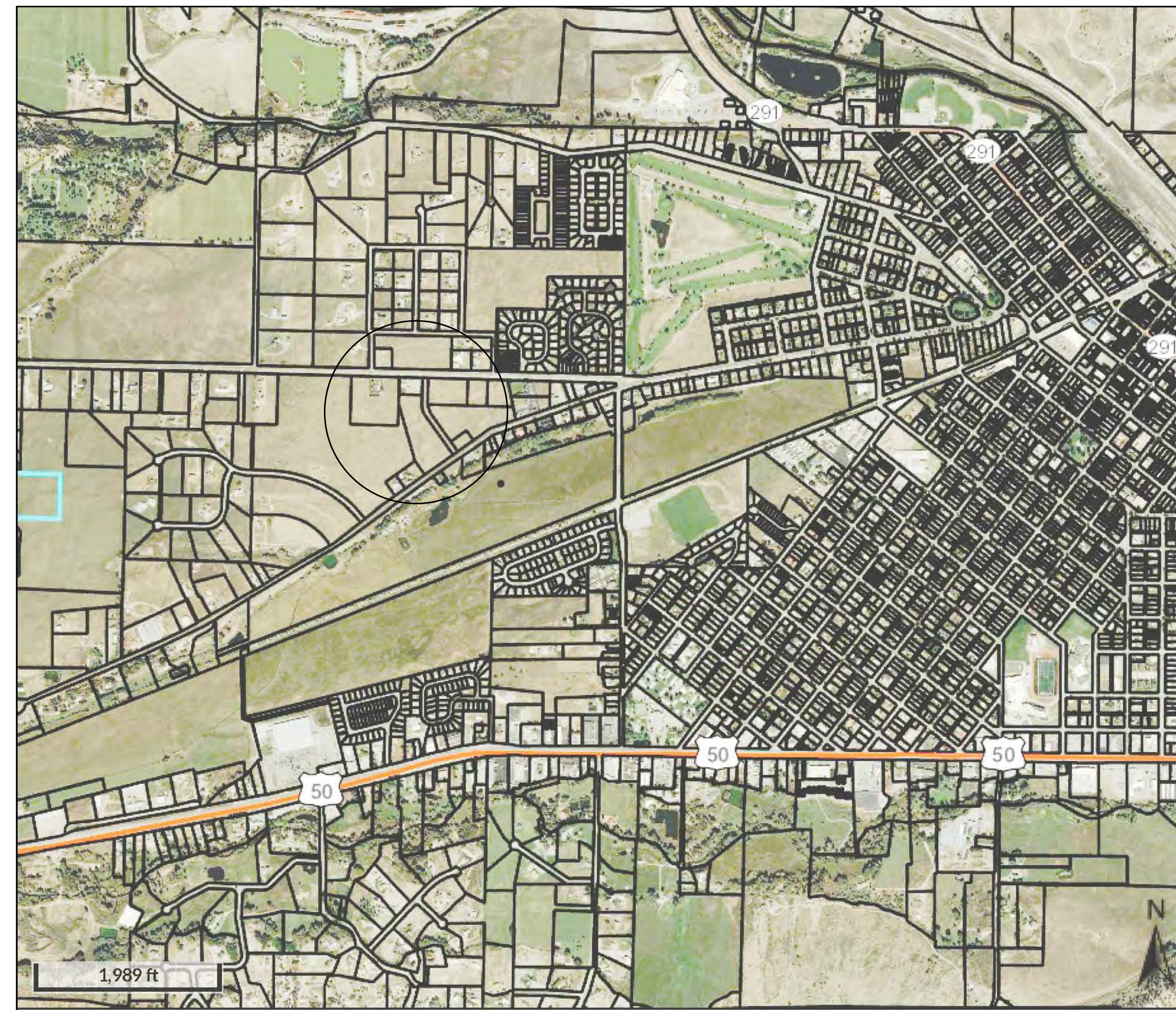


# ANGEL VIEW TOWNHOMES PLANNED DEVELOPMENT PROPOSAL COUNTY ROAD 120 / 140 SALIDA COLORADO 81201



STEVEN JAMES RIDEN  
ARCHITECT  
115 G STREET SALIDA, CO. 81201  
steve@riden.com  
970-389-0150

ANGEL VIEW TOWNHOMES COUNTY ROAD 120 / 140 SALIDA COLORADO 81201 MEMBER OF AMERICAN INSTITUTE OF ARCHITECTS



PROJECT ADDRESS: COUNTY ROAD 120/140  
NUMBER OF LOTS BEFORE MINOR SUB. 4  
LOT AREA: 5.46 ACRES (237,871 SQ. FT.)  
NUMBER OF BUILDINGS: 16  
NUMBER OF UNITS: 72  
FLOOR AREA 2 BEDROOM UNITS: 1,072 SQ. FT.  
FLOOR AREA 3 BEDROOM UNITS: 1,244 SQ. FT.  
NUMBER OF PARKING SPACES: 72 GARAGE, 72 OFF STREET ON STREET; 32

LEGAL DESCRIPTION:  
PARCEL # 3807062000 26,27,28  
RECEPTION # R 3807062000 26,27,28

LOT 1-3 ANGEL VIEW MINOR  
SUBDIVISION PLAT 428085  
SAL 427 REC 428168  
OWNER:  
HARDER - DIESSLIN DEVELOPMENT GROUP LLC  
112 F STREET SALIDA, CO. 81201

TABLE OF CONTENTS NOVEMBER 13, 2017  
PLANNED DEVELOPMENT DECLARATION PAGE  
PLAT PAGE 1 OF PREVIOUSLY RECORDED PLAT  
PLAT PAGE 2 OF PREVIOUSLY RECORDED TOPOGRAPHIC SURVEY  
SD1 PROPOSED SCHEMATIC MASTER PLAN  
ARCHITECTURAL CONCEPT VEIW A  
ARCHITECTURAL CONCEPT VEIW B  
ARCHITECTURAL CONCEPT VEIW C  
C-1 PHASE ONE DRAINAGE PLAN  
C-2 PHASE ONE GRADING PLAN  
C-3 DETAILS AND GENERAL NOTES  
C-4 DEZI DRIVE PLAN AND PROFILE  
C-5 EMMA DRIVE SAS PLAN AND PROFILE  
C-6 OVERALL SANITARY SEWER PLAN  
C-7 DEZI DRIVE PLAN AND PROFILE  
C-8 EMMA DRIVE SAS PLAN AND PROFILE  
C-9 OVERALL WATER PLAN  
C-10 DETAILS  
C-11 DETAILS  
C-12 DETAILS

below in booklet only:  
ANGEL VEIW PLANNED DEVELOPMENT NARRATIVE  
DEVELOPMENT IMPROVMENT AGREEMENT  
WORKFORCE HOUSING TERMS AND CONDITIONS  
CONVEYANCE FORMULA FOR DEED RESTRICTED UNITS  
INFRASTRUCTURE CONCEPTUAL ESTIMATE  
WARRANTY DEED  
BANK FINANCING LETTER OF EXPLANATION  
COPY OF APPLICATION

12/21/2017

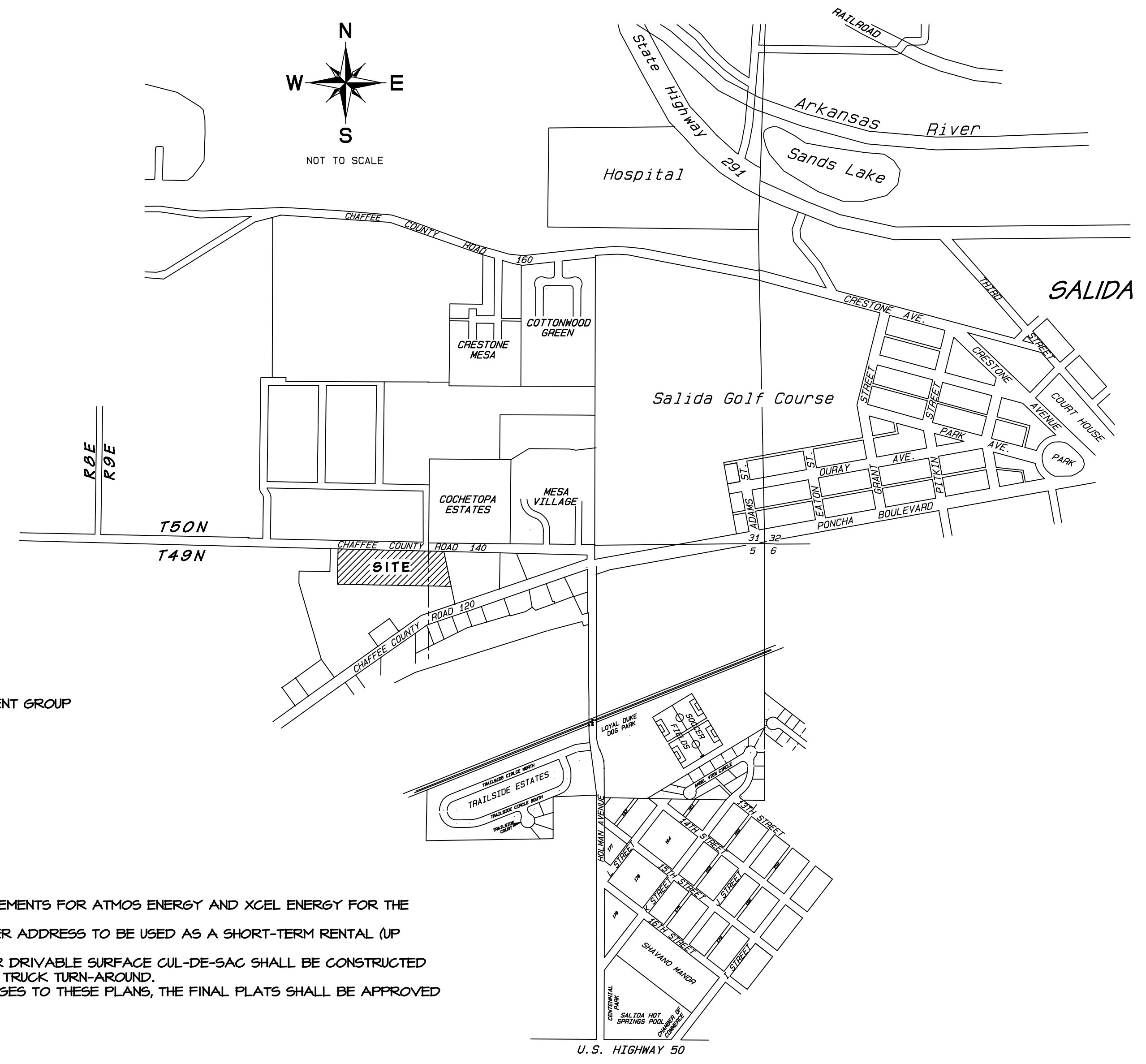


# ANGELVIEW TOWNHOMES PLANNED DEVELOPMENT PLAN

LOCATED IN  
LOTS 1, 2 AND 3, ANGELVIEW MINOR SUBDIVISION, CITY OF SALIDA  
CHAFFEE COUNTY, COLORADO

## VICINITY MAP

NOT TO SCALE



### CERTIFICATE OF DEDICATION AND OWNERSHIP:

KNOW ALL PERSONS BY THESE PRESENTS THAT HARDER-DIESSLIN DEVELOPMENT GROUP, LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE OWNER OF CERTAIN LAND IN THE CITY OF SALIDA, CHAFFEE COUNTY, COLORADO, DESCRIBED AS FOLLOWS:

Lots 1, 2 and 3, Angelview Minor Subdivision in the City of Salida, Chaffee County, Colorado  
Per Plat filed July 15, 2016 as Reception No. 428085.

HAS LAID OUT THE ABOVE DESCRIBED PROPERTY INTO THE PLANNED DEVELOPMENT AS SHOWN ON THESE DEVELOPMENT PLANS UNDER THE NAME AND STYLE OF:

**ANGELVIEW TOWNHOMES PLANNED DEVELOPMENT PLAN**  
LOCATED WITHIN  
LOTS 1, 2 AND 3, ANGELVIEW MINOR SUBDIVISION, CITY OF SALIDA  
CHAFFEE COUNTY, COLORADO

EXECUTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017.

HARDER-DIESSLIN DEVELOPMENT, LLC  
A COLORADO LIMITED LIABILITY COMPANY

\_\_\_\_\_  
WALTER G. HARDER IV, MANAGING MEMBER  
STATE OF COLORADO } ss  
COUNTY OF CHAFFEE }

THE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017.  
WITNESS MY HAND AND OFFICIAL SEAL.  
MY COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_

OWNER/DEVELOPER:  
HARDER-DIESSLIN DEVELOPMENT GROUP  
112 F STREET  
SALIDA, CO 81201

### CERTIFICATE OF TITLE INSURANCE COMPANY:

I, JAMES L. TREAT, A LICENSED TITLE INSURANCE EXAMINER REPRESENTING STEWART TITLE GUARANTY COMPANY IN THE STATE OF COLORADO DO CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE REAL PROPERTY DESCRIBED ABOVE AND FOUND TITLE VESTED IN HARDER-DIESSLIN DEVELOPMENT GROUP, LLC, A COLORADO LIMITED LIABILITY COMPANY, FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES, EXCEPT:

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 2017.

\_\_\_\_\_  
JAMES L. TREAT

### LAND SURVEYOR'S STATEMENT:

I, MICHAEL K. HENDERSON, A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF COLORADO DO HEREBY STATE THAT THE SURVEY OF LOTS 1, 2 AND 3, ANGELVIEW MINOR SUBDIVISION WAS PERFORMED UNDER MY DIRECT SUPERVISION AND SAID SURVEY IS TRUE AND CORRECT AS DEPICTED ON THE FILED PLAT OF ANGELVIEW MINOR SUBDIVISION (RECEPTION NO. 428085).

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 2017.

\_\_\_\_\_  
MICHAEL K. HENDERSON  
REG. L.S. NO. 16117  
STATE OF COLORADO

### GENERAL LAND SURVEYOR'S NOTES:

1) PROPERTY DESCRIPTION IS BASED ON WARRANTY DEED RECORDED AT RECEPTION NO. 420168 OF THE CHAFFEE COUNTY RECORDS.  
2) RECORD EASEMENT RESEARCH BASED ON STEWART TITLE GUARANTY COMPANY COMMITMENT NO. 209320 ISSUED BY CHAFFEE TITLE & ESCROW, EFFECTIVE OCTOBER 26, 2015.

### DEVELOPMENT NOTES:

- 1) ALL ROADS AND ALLEYS SHALL CONTAIN EASEMENTS FOR ATMOS ENERGY AND XCEL ENERGY FOR THE PLACEMENT AND MAINTENANCE OF UTILITIES.
- 2) THE CITY OF SALIDA WILL ALLOW ONE UNIT PER ADDRESS TO BE USED AS A SHORT-TERM RENTAL (UP TO FOUR PER PHASE).
- 3) FOR PHASES 1, 2 AND 3, A 46 FOOT DIAMETER DRIVABLE SURFACE CUL-DE-SAC SHALL BE CONSTRUCTED AT THE END OF EMMA LANE TO PROVIDE A FIRE TRUCK TURN-AROUND.
- 4) PROVIDED THERE ARE NO SUBSTANTIAL CHANGES TO THESE PLANS, THE FINAL PLATS SHALL BE APPROVED BY ADMINISTRATIVE STAFF REVIEW.

### CITY COUNCIL APPROVAL:

THIS DEVELOPMENT PLAN IS APPROVED FOR FILING.  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017.  
CITY OF SALIDA

BY: \_\_\_\_\_  
MAYOR

### PLANNING COMMISSION APPROVAL:

THIS DEVELOPMENT PLAN IS APPROVED BY THE CITY OF SALIDA PLANNING COMMISSION THIS \_\_\_\_\_ DAY \_\_\_\_\_, 2017.

\_\_\_\_\_  
CHAIRMAN

### CLERK AND RECORDER'S CERTIFICATE:

THIS PLAT WAS FILED IN THE OFFICE OF THE CLERK AND RECORDER OF CHAFFEE COUNTY, COLORADO AT \_\_\_\_\_ M. ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 2017 UNDER RECEPTION NO. \_\_\_\_\_

\_\_\_\_\_  
CHAFFEE COUNTY CLERK & RECORDER

### DIMENSIONAL STANDARDS

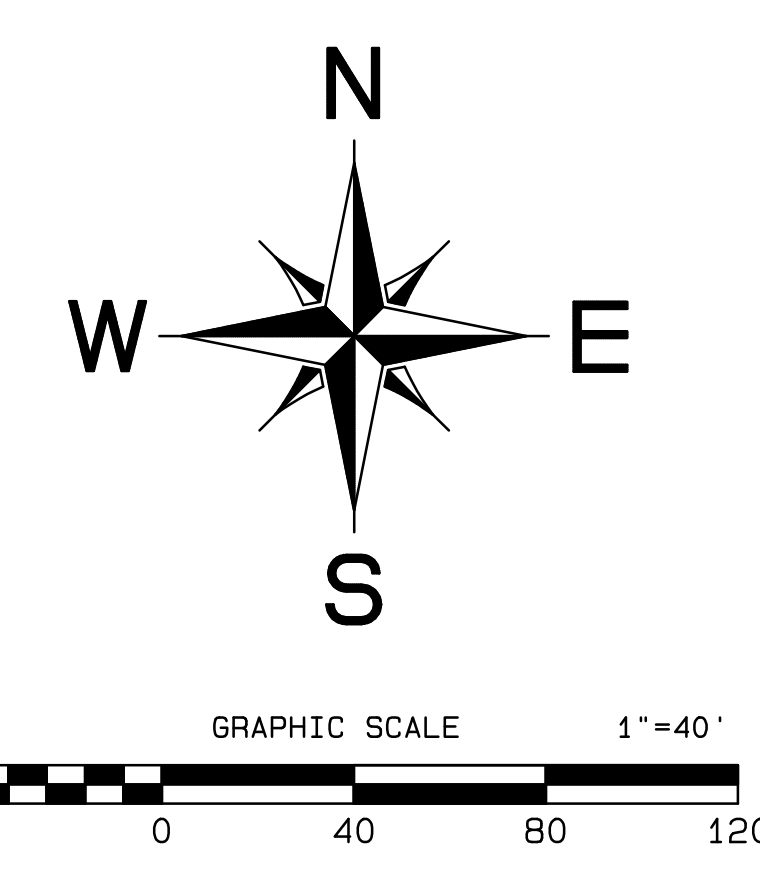
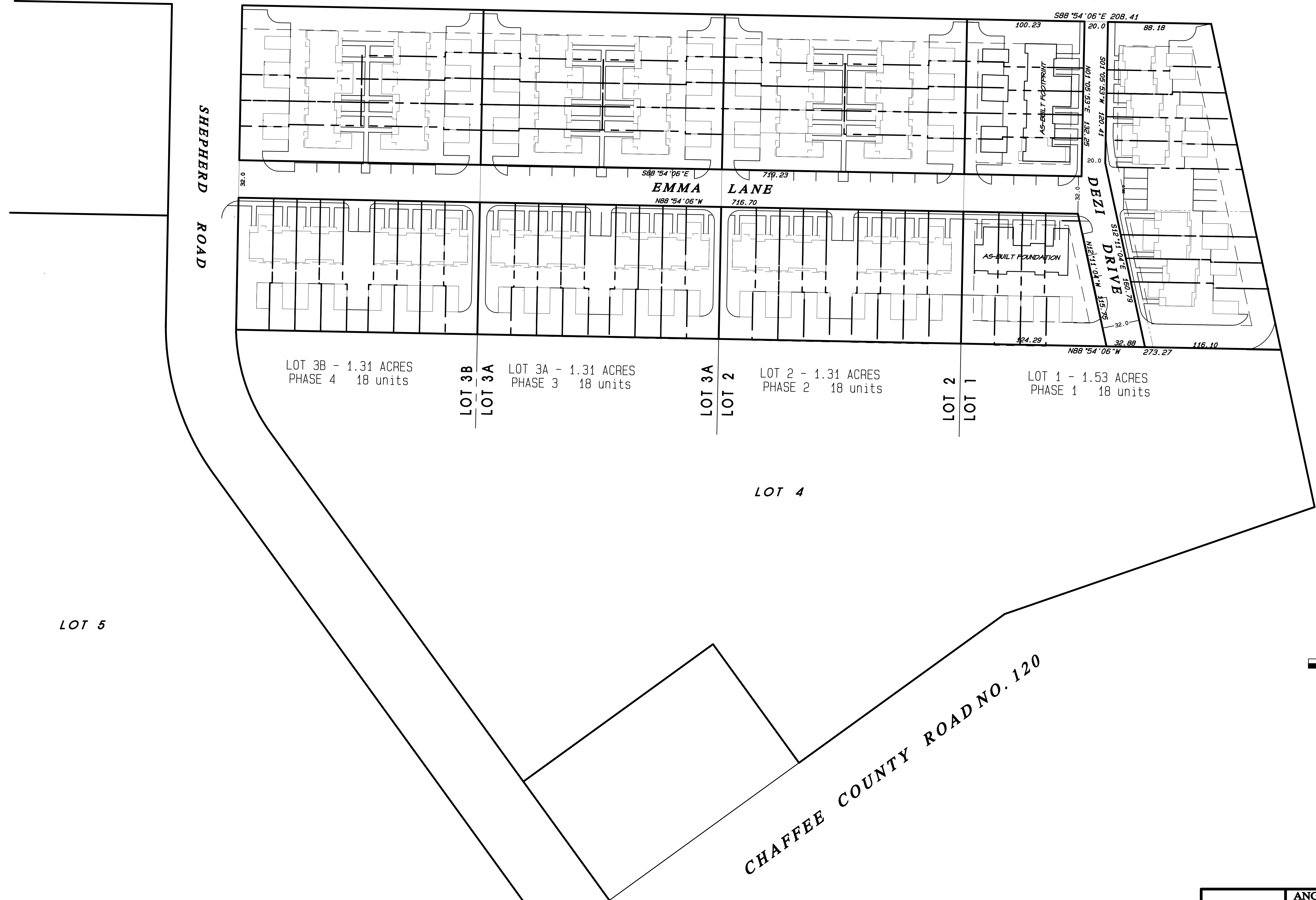
	Existing R-3	Proposed
Minimum Lot Square Footage (attached units)	2,400	1,950
Density lot/minimum area per dwelling unit	2,400	1,950
Maximum Lot coverage Structures	45%	70%
Minimum Landscape area	30%	15%
Front Set-Back	20'	5'
Detached set-back (side)	3'	0'
Rear set-back (primary)	3'	3'
Rear set-back (accessory building)	20'	5'
Maximum Height for a Primary Building	35'	35'
Maximum Height for a detached accessory building	25'	25'
Off street Parking for Multi-Family dwelling units	1 for first unit and 1.5 thereafter	1 per one bed unit for the first 9 then 1.5 thereafter

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE SURVEYOR'S STATEMENT CONTAINED HEREON.

<b>ANGELVIEW TOWNHOMES PLANNED DEVELOPMENT PLAN</b> IN LOTS 1, 2 AND 3, ANGELVIEW MINOR SUBDIVISION, CITY OF SALIDA CHAFFEE COUNTY, COLORADO	
Job Number: J-17-201 TPC FILE: J-12-048 DRAWN BY: M. K. H. TMOO CAD	<b>HENDERSON LAND SURVEYING CO., INC.</b> 208 G STREET SALIDA, COLORADO
CHECKED: Fid. book: 5281, Pgs. 1-33, DG. T8C3	DATE: 11/10/17 DRAWING NO. L-17-75



**ANGELVIEW TOWNHOMES**  
SITE STREET PLAN  
CITY OF SALIDA  
**CHAFFEE COUNTY ROAD NO. 140**



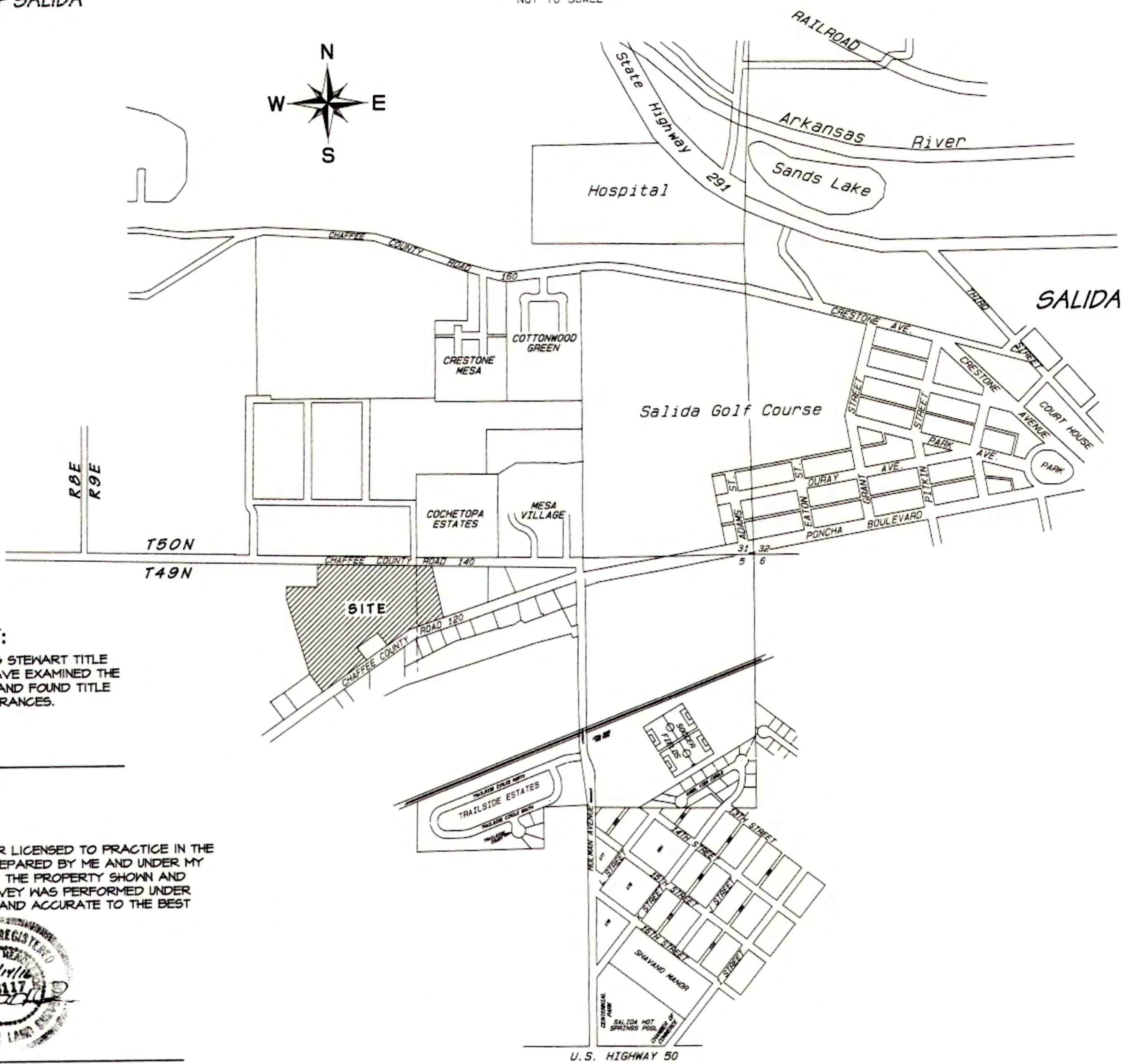
NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

<b>ANGELVIEW TOWNHOMES SITE STREET PLAN</b>	
CITY OF SALIDA	
CHAFFEE COUNTY	COLORADO
Job Number: J-17-201	<b>HENDERSON LAND SURVEYING CO., INC.</b>
DESIGNED:	P.O. BOX 812 SALIDA, COLORADO
DRAWN BY: M. K. H.	DATE: 12/19/17
CHECKED:	DRAWING NO. L-17-81
File Book: S298, Pgs. 74 & 75	



**ANGELVIEW MINOR SUBDIVISION**  
LOCATED IN THE  
NORTH 1/2 OF SECTION 6, T 49 N, R 9 E, N.M.P.M., CITY OF SALIDA  
CHAFFEE COUNTY, COLORADO  
SHEET 1 OF 2

**VICINITY MAP**  
NOT TO SCALE



**CERTIFICATE OF DEDICATION AND OWNERSHIP:**

KNOW ALL PERSONS BY THESE PRESENTS THAT JAMES L. TREAT, BEING THE OWNER OF CERTAIN LAND IN THE CITY OF SALIDA CHAFFEE COUNTY, COLORADO, DESCRIBED AS FOLLOWS:

A tract of land located within the North Half (N 1/2) of Section 6, Township 49 North, Range 9 East of the New Mexico Principal Meridian, and within the City of Salida, Chaffee County, Colorado, said tract being described as follows: Beginning at a point on the southerly boundary of Chaffee County Road No. 140 from whence the North Quarter Corner of said Section 6 bears North 06°34'18" East 66.74 feet, said quarter corner is located 14.82 feet due South from a brass-capped witness corner; thence proceeding around the tract herein described South 88°55'04" East along the south boundary of said Chaffee County Road No. 140 a distance of 130.00 feet to the northwesterly corner of a parcel of land described in Book 421 at Page 73 of the Records of Chaffee County; thence South 12°05'04" East along the westerly boundary of the above-said parcel 421.64 feet to the northerly boundary of Chaffee County Road No. 120; thence along the said northerly boundary of said Chaffee County Road No. 120 the following courses and distances: first, South 70°58' West 280.00 feet; thence South 54°04' West 216.65 feet to the easterly corner of a parcel of land described in Book 345 at Page 360 of the Chaffee County Records; thence along the boundaries of the above-said parcel, first North 35°51' West 125.00 feet; thence South 54°04' West 200.00 feet; thence South 35°51' East 125.00 feet to a point on the said northerly boundary of Chaffee County Road No. 120; thence South 54°04' West along said northerly county road boundary 421.00 feet to the easterly corner of a parcel of land described in Book 356 at Page 978 of the Chaffee County Records; thence North 36°02' West 175.70 feet to the northerly corner of the above-said parcel; thence North 16°23'44" West along the City of Salida corporate boundary a distance of 622.36 feet to the southeast corner of a parcel of land described in Book 445 at Page 943 of the Chaffee County Records; thence North 01°04'51" East 46.4 feet to the southwest corner of a parcel of land described in Book 483 at Page 68 of the Records of Chaffee County; thence South 88°55'04" East 242.00 feet to the southeast corner of the above-described parcel; thence North 01°04'51" East 180.00 feet to the northeast corner of the above-described parcel located on the said southerly boundary of Chaffee County Road No. 140; thence South 88°55'04" East along said Chaffee County Road No. 140 southerly boundary 757.40 feet to the point of beginning, containing 17.15 Acres, more or less.

**OWNER:**  
JAMES L. TREAT  
225 G STREET  
SALIDA, CO 81201

**SUBDIVIDER:**  
HARDER-DIESSLIN DEVELOPMENT GROUP  
112 F STREET  
SALIDA, CO 81201

**LAND SURVEYOR:**  
HENDERSON LAND SURVEYING CO., INC.  
203 G STREET  
SALIDA, CO 81201

DOES HEREBY LAY-OUT, PLAT AND SUBDIVIDE THE ABOVE DESCRIBED PROPERTY INTO LOTS, A ROAD AND EASEMENTS, WITH BEARINGS AND DISTANCES AS SHOWN ON SHEET 2 CONTAINED HEREIN, TO BE KNOWN AS:

**ANGELVIEW MINOR SUBDIVISION**  
LOCATED WITHIN THE  
N 1/2 OF SECTION 6, T 49 N, R 9 E, N.M.P.M., CITY OF SALIDA  
CHAFFEE COUNTY, COLORADO

AND DO HEREBY DEDICATE SHEPHERD ROAD TO THE CITY OF SALIDA AS PUBLIC ROAD. THE UNDERSIGNED HEREBY FURTHER DEDICATE TO THE PUBLIC ALL UTILITY EASEMENTS ON THE PROPERTY AS SHOWN AND DESCRIBED ON SHEET 2 CONTAINED HEREIN AND HEREBY FURTHER DEDICATES TO THE PUBLIC UTILITIES THE RIGHT TO INSTALL, MAINTAIN AND OPERATE MAINS, TRANSMISSION LINES, SERVICE LINES AND APPURTENANCES TO PROVIDE SUCH UTILITY SERVICES WITHIN THIS SUBDIVISION OR PROPERTY CONTIGUOUS THERETO, UNDER, ALONG AND ACROSS PUBLIC ROADS AS SHOWN ON THIS PLAT AND ALSO UNDER, ALONG AND ACROSS UTILITY EASEMENTS AS SHOWN ON SHEET 2.

**CERTIFICATE OF TITLE INSURANCE COMPANY:**

I, JAMES L. TREAT, A LICENSED TITLE INSURANCE EXAMINER REPRESENTING STEWART TITLE GUARANTY COMPANY IN THE STATE OF COLORADO DO CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE REAL PROPERTY DEDICATED AND SHOWN ON THESE PLATS AND FOUND TITLE VESTED IN JAMES L. TREAT, FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES.

*James L. Treat*  
JAMES L. TREAT

**LAND SURVEYOR'S STATEMENT:**

I, MICHAEL K. HENDERSON, A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF COLORADO DO HEREBY STATE THAT THIS PLAT WAS PREPARED BY ME AND UNDER MY DIRECT SUPERVISION AND IS BASED ON A MONUMENTED LAND SURVEY OF THE PROPERTY SHOWN AND DESCRIBED ON THESE PLATS, AS WELL AS THE NEIGHBORING LOTS, THAT SAID SURVEY WAS PERFORMED UNDER MY RESPONSIBLE CHARGE AND THAT SAID SURVEY AND PLAT ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATED THIS 14<sup>TH</sup> DAY OF July, A.D., 2016.



MICHAEL K. HENDERSON  
REG. L.S. NO. 16117  
STATE OF COLORADO

**CERTIFICATE OF STREET AND UTILITY MAINTENANCE:**

PUBLIC NOTICE IS HEREBY GIVEN THAT NEITHER THE DEDICATED PUBLIC ROADS NOR THE PUBLIC UTILITIES SHOWN ON PLAT SHEET 2 WILL BE MAINTAINED BY THE CITY OF SALIDA UNTIL AND UNLESS THE SUBDIVIDER CONSTRUCTS THE STREET AND UTILITIES IN ACCORDANCE WITH A SUBDIVISION AGREEMENT, IF ANY, AND THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE OF THE FILING OF THIS PLAT, AND APPROVAL OF THE CITY HAS BEEN ISSUED TO THAT EFFECT, WHEN THE CITY APPROVES A STREET OR UTILITY FOR MAINTENANCE, THE STREET OR UTILITY SHALL BECOME PUBLIC IN ALL SENSES OF THE WORD AND THE SUBDIVIDER HAS NO FURTHER OBLIGATIONS IN REGARDS TO THAT PARTICULAR STREET OF UTILITY.

**ACKNOWLEDGEMENTS:**

IN WITNESS WHEREOF, JAMES L. TREAT HAS CAUSED THESE PRESENTS TO BE EXECUTED ON THIS 15<sup>TH</sup> DAY OF July, 2016.

*James L. Treat*  
JAMES L. TREAT  
STATE OF COLORADO  
COUNTY OF CHAFFEE

THE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME ON THIS 15<sup>TH</sup> DAY OF July, 2016.  
WITNESS MY HAND AND OFFICIAL SEAL.  
MY COMMISSION EXPIRES 2-26-2017

NOTARY PUBLIC: *Colleen E. Dotter*  
COLLEEN E. DOTTER  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 1997406529  
COMMISSION EXPIRES 02/26/2017  
ADDRESS: P.O. Box 189, Cotopaxi, CO 81223-0189

**GENERAL LAND SURVEYOR'S NOTES:**

1) PROPERTY DESCRIPTION AND RECORD EASEMENT RESEARCH BASED ON STEWART TITLE GUARANTY COMPANY COMMITMENT NO. 204320 ISSUED BY CHAFFEE TITLE & ESCROW, EFFECTIVE OCTOBER 26, 2015.  
2) SEE SHEET 2 FOR ADDITIONAL NOTES.

**PLANNING COMMISSION APPROVAL:**

THIS PLAT IS APPROVED BY THE CITY OF SALIDA PLANNING COMMISSION THIS 15 DAY OF July, 2016.

*B*  
CHAIRMAN

**CLERK AND RECORDER'S CERTIFICATE:**

THIS PLAT WAS FILED IN THE OFFICE OF THE CLERK AND RECORDER OF CHAFFEE COUNTY, COLORADO AT 2:39 P.M. ON THIS 15<sup>TH</sup> DAY OF July, A.D., 2016 UNDER RECEPTION NO. 428085

*Patricia Travnicek* (Deputy Recorder)  
CHAFFEE COUNTY CLERK & RECORDER

**SHEET 1 OF 2**

REVISED SIGNATURE BLOCKS: 7/14/16 M.K.H.  
ADDED DEVELOPMENT NOTES: 6/13/16 M.K.H.

<b>ANGELVIEW MINOR SUBDIVISION</b> IN THE NORTH 1/2 OF SECTION 6, T 49 N, R 9 E, N.M.P.M., CITY OF SALIDA CHAFFEE COUNTY, COLORADO	
Job Number: J-15-191 TPC FILE: J-12-048 DRAWN BY: M. K. H. 1/00 CAD00	<b>HENDERSON LAND SURVEYING CO., INC.</b> SALIDA, COLORADO DATE: 4/14/16 DRAWING NO. L-15-63

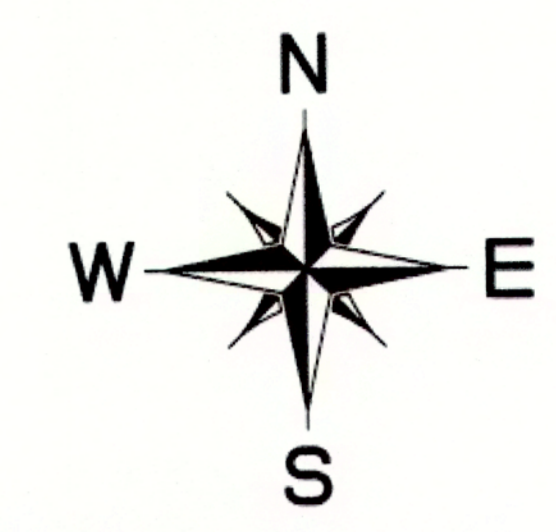
\*428085\*  
428085 7-15-2016 2:39 PM PLAT Lori A Mitchell  
1 of 2 R515 D80 N50 S51 M50 E55 Chaffee County Clerk

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE SURVEYOR'S STATEMENT CONTAINED HEREIN.

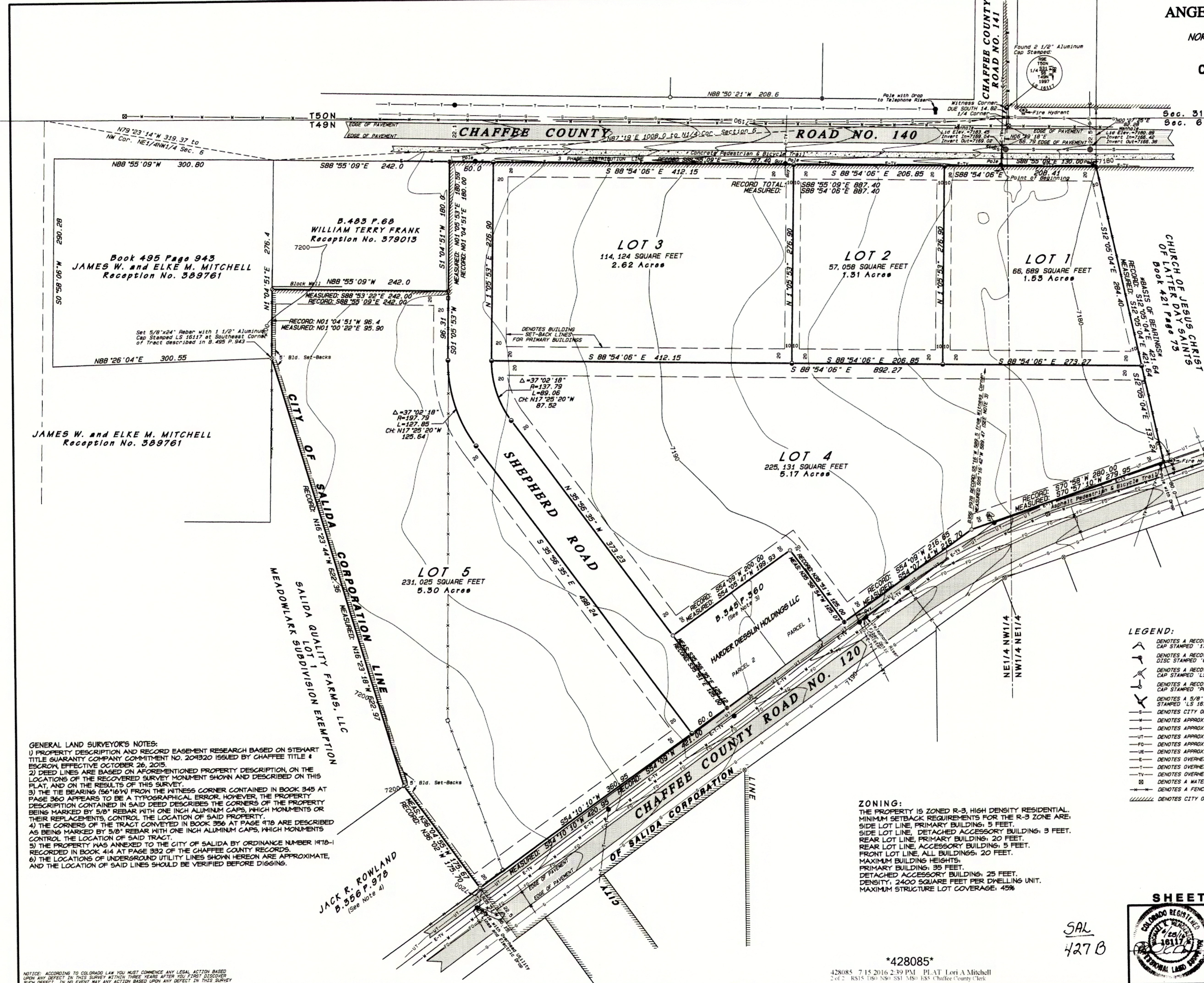


# ANGELVIEW MINOR SUBDIVISION

LOCATED IN THE  
NORTH 1/2 of SECTION 6, T49 N, R9 E, N.M.P.M.  
IN THE  
CITY OF SALIDA  
CHAFFEE COUNTY, COLORADO  
SHEET 2 OF 2



GRAPHIC SCALE: 1 INCH = 60 FEET  
DIRECTIONS ARE BASED ON THE BEARING S12°05'04"E BETWEEN RECOVERED REBAR SURVEY MONUMENTS AT THE NE AND SE CORNERS OF PROPERTY AS SHOWN AND DESCRIBED ON THIS PLAT.  
CONTOUR INTERVAL = 2 FEET



- LEGEND:**
- ⊕ DENOTES A RECOVERED 5/8" REBAR WITH A 1" ALUMINUM CAP STAMPED "1776".
  - ⊕ DENOTES A RECOVERED 5/8" REBAR WITH A 1 3/4" STEEL DISC STAMPED "6753".
  - ⊕ DENOTES A RECOVERED 5/8" REBAR WITH A 1 1/2" ALUMINUM CAP STAMPED "LS 16117", UNLESS NOTED OTHERWISE.
  - ⊕ DENOTES A RECOVERED 1/2" REBAR WITH A 1" PLASTIC CAP STAMPED "PROP CON 34975".
  - ⊕ DENOTES A 5/8" X 24" REBAR WITH A 1 1/2" ALUMINUM CAP STAMPED "LS 16117", SET FOR THIS SURVEY.
  - DENOTES CITY OF SALIDA SEWER MAIN.
  - DENOTES APPROXIMATE LOCATION OF CITY OF SALIDA WATER LINES.
  - DENOTES APPROXIMATE LOCATION OF GAS LINES.
  - DENOTES APPROXIMATE LOCATION OF UNDERGROUND TELEPHONE LINES.
  - DENOTES APPROXIMATE LOCATION OF UNDERGROUND FIBER OPTIC LINES.
  - DENOTES APPROXIMATE LOCATION OF UNDERGROUND ELECTRIC LINES.
  - DENOTES OVERHEAD ELECTRIC LINES.
  - DENOTES OVERHEAD TELEPHONE LINES.
  - DENOTES OVERHEAD TELEVISION LINES.
  - ⊕ DENOTES A WATER SHUT-OFF VALVE.
  - DENOTES A FENCE.
  - DENOTES CITY OF SALIDA CORPORATION LINE.

**ZONING:**  
THE PROPERTY IS ZONED R-3, HIGH DENSITY RESIDENTIAL. MINIMUM SETBACK REQUIREMENTS FOR THE R-3 ZONE ARE:  
SIDE LOT LINE, PRIMARY BUILDING, 5 FEET.  
SIDE LOT LINE, DETACHED ACCESSORY BUILDING, 3 FEET.  
REAR LOT LINE, PRIMARY BUILDING, 20 FEET.  
REAR LOT LINE, ACCESSORY BUILDING, 5 FEET.  
FRONT LOT LINE, ALL BUILDINGS, 5 FEET.  
MAXIMUM BUILDING HEIGHTS:  
PRIMARY BUILDING, 35 FEET.  
DETACHED ACCESSORY BUILDING, 25 FEET.  
DENSITY, 2400 SQUARE FEET PER DWELLING UNIT.  
MAXIMUM STRUCTURE LOT COVERAGE, 45%

**GENERAL LAND SURVEYOR'S NOTES:**  
1) PROPERTY DESCRIPTION AND RECORD EASEMENT RESEARCH BASED ON STEWART TITLE GUARANTY COMPANY COMMITMENT NO. 204320 ISSUED BY CHAFFEE TITLE & ESCROW, EFFECTIVE OCTOBER 26, 2015.  
2) DEED LINES ARE BASED ON A TYPOGRAPHICAL ERROR, HOWEVER, THE PROPERTY DESCRIPTION CONTAINED IN SAID DEED DESCRIBES THE CORNERS OF THE PROPERTY BEING MARKED BY 5/8" REBAR WITH ONE INCH ALUMINUM CAPS, WHICH MONUMENTS OR THEIR REPLACEMENTS, CONTROL THE LOCATION OF SAID PROPERTY.  
3) THE TIE BEARING (S6°16'W) FROM THE WITNESS CORNER CONTAINED IN BOOK 345 AT PAGE 360 APPEARS TO BE A TYPOGRAPHICAL ERROR. HOWEVER, THE PROPERTY DESCRIPTION CONTAINED IN SAID DEED DESCRIBES THE CORNERS OF THE PROPERTY BEING MARKED BY 5/8" REBAR WITH ONE INCH ALUMINUM CAPS, WHICH MONUMENTS OR THEIR REPLACEMENTS, CONTROL THE LOCATION OF SAID PROPERTY.  
4) THE CORNERS OF THE TRACT CONVEYED IN BOOK 356 AT PAGE 478 ARE DESCRIBED AS BEING MARKED BY 5/8" REBAR WITH ONE INCH ALUMINUM CAPS, WHICH MONUMENTS CONTROL THE LOCATION OF SAID TRACT.  
5) THE PROPERTY WAS ANNEXED TO THE CITY OF SALIDA BY ORDINANCE NUMBER 1478-I RECORDED IN BOOK 414 AT PAGE 332 OF THE CHAFFEE COUNTY RECORDS.  
6) THE LOCATIONS OF UNDERGROUND UTILITY LINES SHOWN HEREON ARE APPROXIMATE, AND THE LOCATION OF SAID LINES SHOULD BE VERIFIED BEFORE DIGGING.

JACK R. ROWLAND  
D. 556 P. 978  
(See Note 4)

**SHEET 2 OF 2**

ANGELVIEW MINOR SUBDIVISION N1/2 of SECTION 6, T49 N, R9 E, N.M.P.M. CITY OF SALIDA	
CHAFFEE COUNTY 100 Number: J-15-191 TRC FILE: J-12-049 DRAWN BY: THOD, CAD M. K. H. D. S. H.	HENDERSON LAND SURVEYING CO., INC. 203 G STREET SALIDA, COLORADO
DATE: 4/14/16	DRAWING NO. L-15-63

COLORED REGISTERED  
12/15/11  
16117  
PROFESSIONAL LAND SURVEYOR

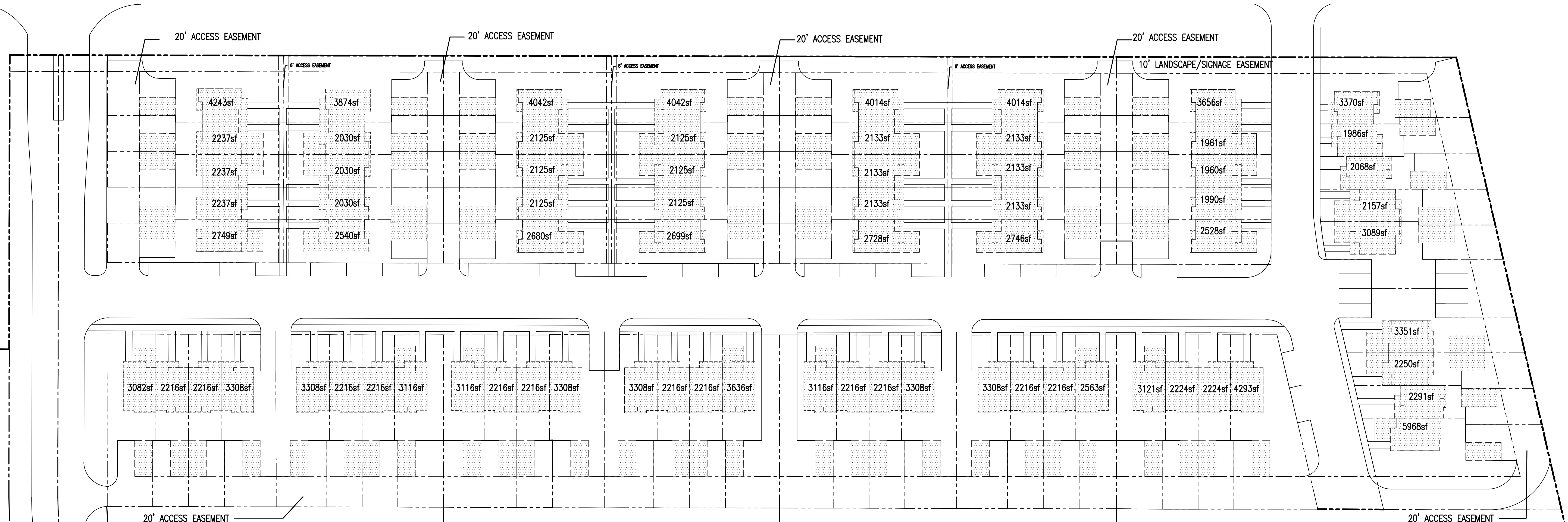
NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE SURVEYOR'S STATEMENT CONTAINED HEREON.

\*428085\*  
428085, 7:15 2016 2:39 PM PLAT Lori A Mitchell  
2 of 2 - R315 180 897 581 M80 185 Chaffee County Clerk

SAL  
427 B



ROAD NO. 140



LOT 3B - 1.31 ACRES  
PHASE 4 18 units

LOT 3A - 1.31 ACRES  
PHASE 3 18 units

LOT 2 - 1.31 ACRES  
PHASE 2 18 units

LOT 1 - 1.53 ACRES  
PHASE 1 18 units

LOT 3B  
LOT 3A

LOT 3A  
LOT 2

LOT 2  
LOT 1

	DIMENSIONAL STANDARDS	
	EXISTING R-3	PROPOSED
Min. Lot s.f. (attached units)	2,400	1,950
Density lot/min. area per dwelling unit	2,400	1,950
Max. Lot coverage structures	45%	70%
Min. Landscape area	30%	15%
Front Setback	20'	5'
Detached setback (side)	3'	0'
Rear setback(primary)	3'	3'
Rear setback (accessory building)	20'	5'
Maximum Height for a Primary Building	35'	35'
Maximum Height for a detached accessory building	25'	25'
Off street Parking for Multi-Family dwelling units	1 for first unit and 1.5 thereafter	1per one bed unit for the first 9 then 1.5 thereafter

ROAD NO. 120

STEVEN JAMES RIDEN  
AIA ARCHITECT P.C.  
steve@riden.com  
(970) 389-0150  
MEMBER OF AMERICAN INSTITUTE OF ARCHITECTS

ANGEL VIEW TOWNHOMES  
COUNTY ROAD 120/140  
SALIDA COLORADO 81201

©COPYRIGHT STEVEN JAMES RIDEN AIA ARCHITECT P.C. ALL RIGHTS RESERVED

THIS DOCUMENT, AND THE IDEAS AND DESIGNS HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF STEVEN JAMES RIDEN AIA ARCHITECT P.C. AND IS NOT TO BE USED IN WHOLE OR PART WITHOUT THE WRITTEN AUTHORIZATION OF STEVEN JAMES RIDEN.

THE CONTRACTOR SHALL THOROUGHLY INSPECT AND SURVEY EXISTING FIELD CONDITIONS TO VERIFY THAT THOSE SHOWN REFLECT WORK ON THE DRAWINGS. THE CONTRACTOR SHALL REPORT ANY VARIATIONS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING.

JOB NUMBER	16-5
DRAWN BY	SJR
DATE	NOV 1, 2017
ROLE	PD
REVISION DATE	INITIAL

SD1





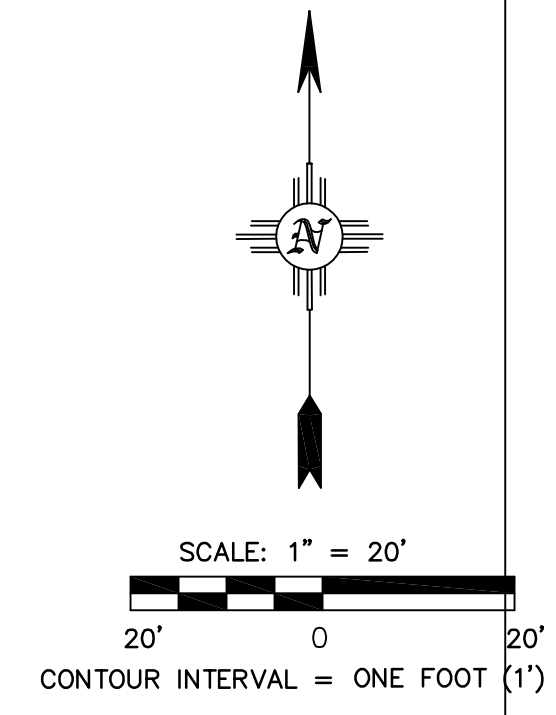
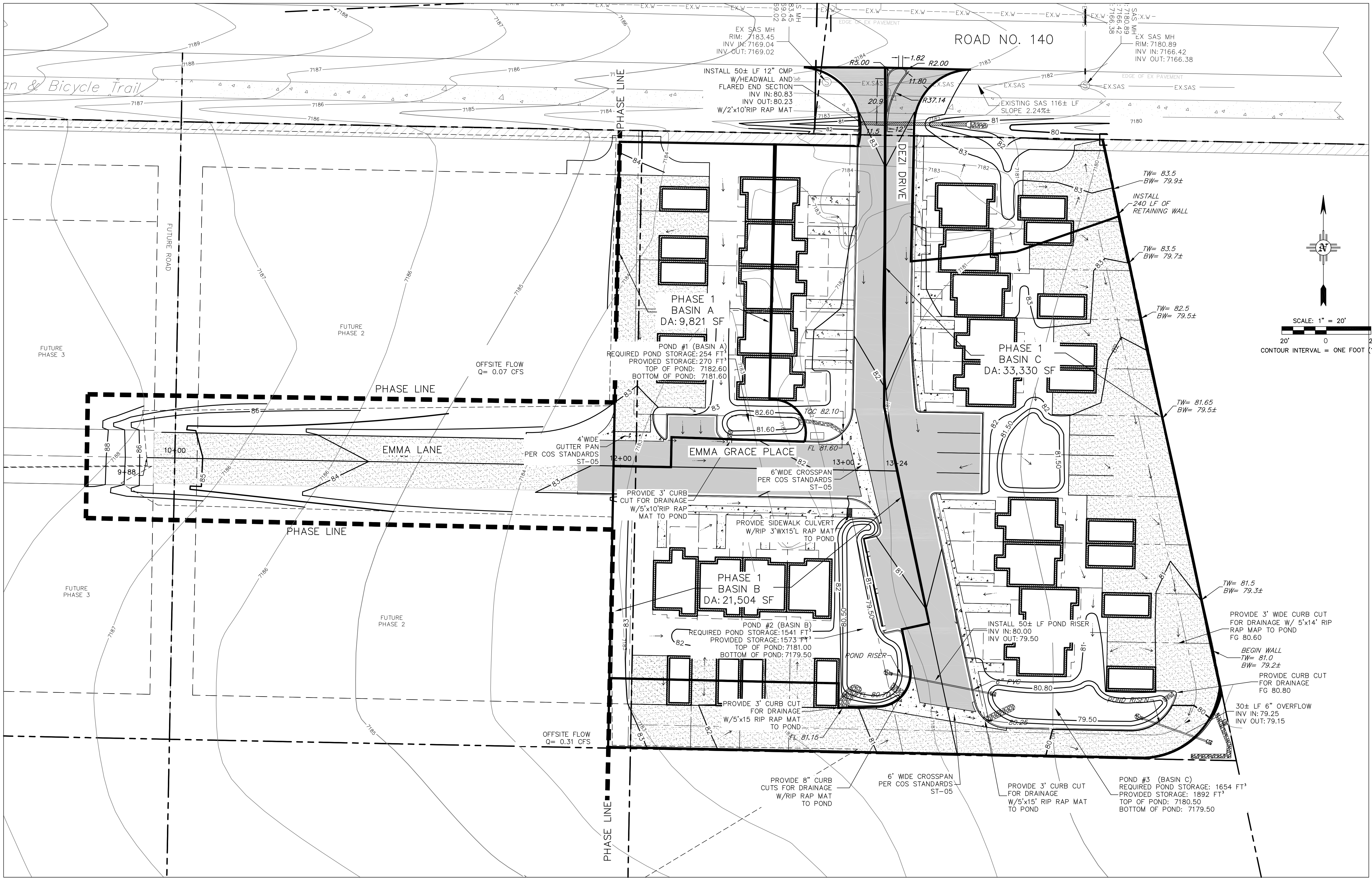












Civil Engineering • Water Resources • Traffic Engineering  
**W.E Walker Engineering**  
 905 Camino Sierra Vista, Santa Fe, NM 87505  
 505-820-7990  
 FAX 505-820-3539  
 E-MAIL: civil@walkerengineering.net

No.	REVISION	BY	APP.	DATE

PROJECT: 16-163 DESIGNED BY: P.L.B.  
 FILE: 163 GRADE DRAWN BY: P.L.B.  
 DATE: 11/10/17 CHECKED BY: M.E.W.  
 SCALE: AS NOTED

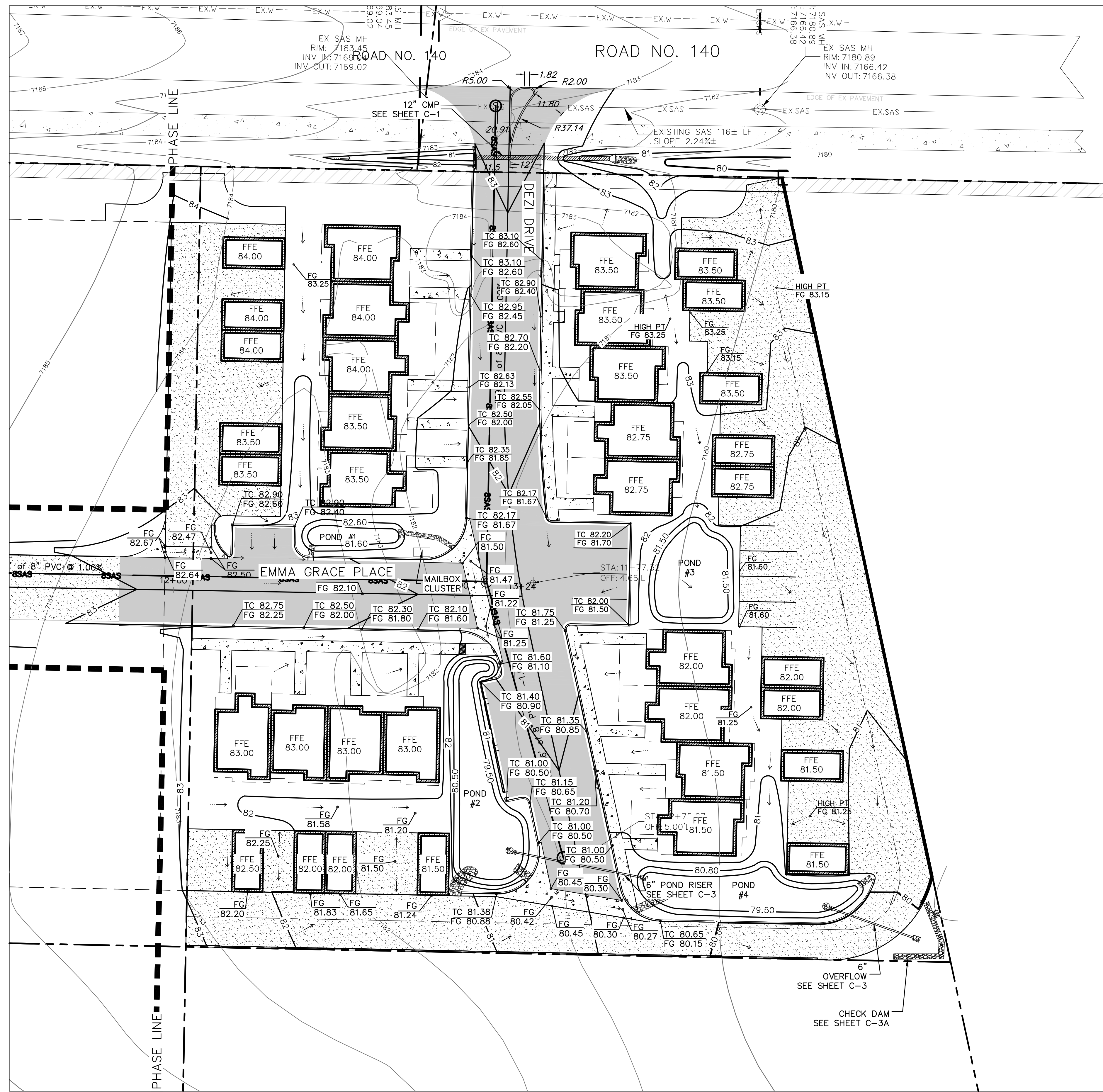


PROJECT: **ANGELVIEW APARTMENTS**  
**SALIDA, CO**  
 SHEET TITLE: **PHASE 1 DRAINAGE PLAN**

CITY REVIEW	DATE
DEPARTMENT	
WATER	
WATER	
TRAFFIC	
FIRE DEPARTMENT	
SOLID WASTE	
LANDSCAPE	
TRAILS/OPEN SPACE	
SUBDIVISION REVIEW	

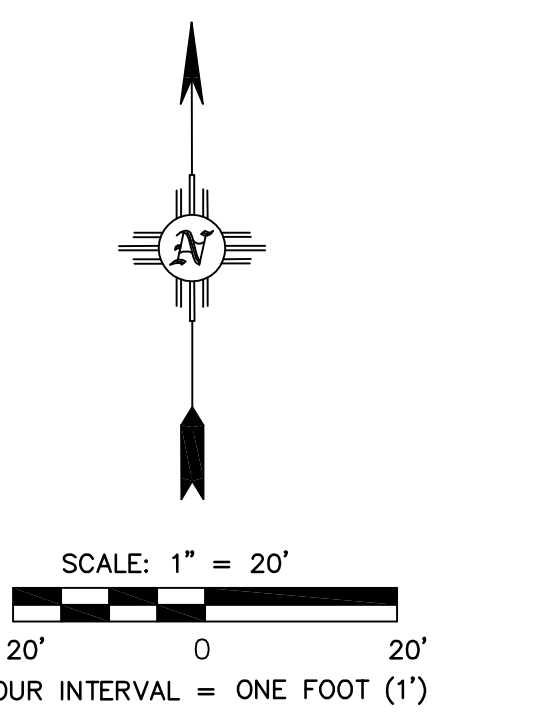
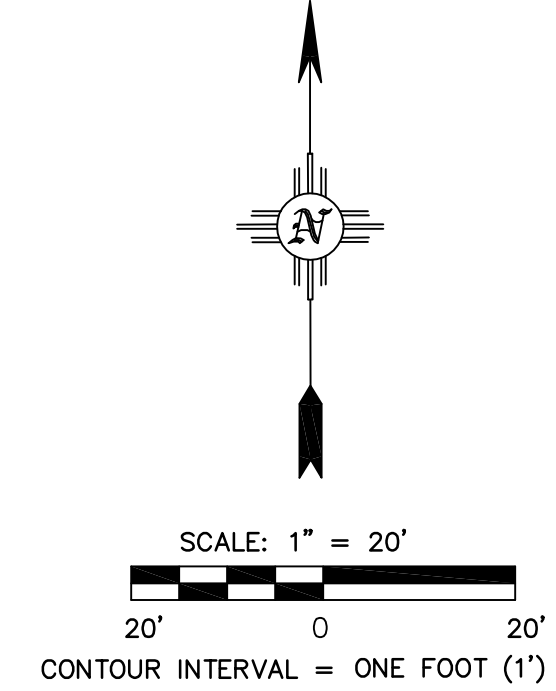
SHEET NO.  
**C1**





### LEGEND

	EXISTING CONTOURS
	DESIGN CONTOURS
	LOT LINE
	PROPOSED SPOT ELEVATION
	FG — FIELD GRADE
	— RIP RAP MAT
	— WATER FLOW DIRECTION
	— FINISHED PAD
	— ASPHALT
	— GRAVEL
	— PHASE LINE
	— CURB AND GUTTER
	— NEW SIDEWALK



**TOPOGRAPHY NOTE**  
ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED AND CERTIFIED BY OTHERS. WALKER ENGINEERING HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS TOPOGRAPHY INFORMATION, AND MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR OF THIS TOPOGRAPHY. WALKER ENGINEERING'S RESPONSIBILITY IS LIMITED TO THE ENGINEERING ANALYSIS THAT UTILIZES THE TOPOGRAPHY SURVEY.

**STAKING NOTE**  
INFORMATION SHOWN IS FOR GRADING AND DRAINAGE ONLY AND IS NOT TO BE USED FOR STAKING PURPOSES. SEE SITE PLAN FOR ACTUAL LOCATION OF IMPROVEMENTS.

**CONTRACTOR NOTE**  
The Contractor is responsible for completing a Storm Water Management Plan (SWMP) and obtaining the associated discharge permit from the Colorado Department of Public Health and Environment water quality control division. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE BEST MANAGEMENT PRACTICES (BMP) USED, THEIR EFFECTIVENESS, AND COMPLIANCE WITH THE COLORADO DISCHARGE PERMIT SYSTEM (CDPS). THE EROSION CONTROL SUPERVISOR (ECS) SHOULD BE DESIGNATED BY THE CONTRACTOR AND WILL BE RESPONSIBLE FOR THE IMPLEMENTATION, MANAGEMENT, MAINTENANCE, AND CARE OF THE SWMP AND THE ASSOCIATED BMP'S, AS AN ADDITIONAL RESOURCE, SEE WWW.LDFCD.ORG URBAN STORM DRAINAGE, CRITERIA MANUAL VOLUME 3, BEST MANAGEMENT PRACTICES

**RECORD DRAWINGS**  
THIS RECORD DOCUMENT HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION AS PROVIDED BY OTHERS. WALKER ENGINEERING CERTIFIES THAT THE INFORMATION SHOWN IS A REASONABLE DOCUMENTATION OF THE FINAL CONSTRUCTION.  
MOREY E. WALKER, P.E. 32033 DATE

Civil Engineering • Water Resources • Traffic Engineering  
**W.E. Walker Engineering**  
905 Camino Sierra Vista, Santa Fe, NM 87505  
505-820-7990  
FAX 505-820-3539  
E-MAIL: civil@walkerengineering.net

No.	REVISION	BY	APP.	DATE

PROJECT: 16-163 DESIGNED BY: P.L.B.  
FILE: 163 GRADE DRAWN BY: P.L.B.  
DATE: 11/10/17 CHECKED BY: M.E.W.  
SCALE: AS NOTED

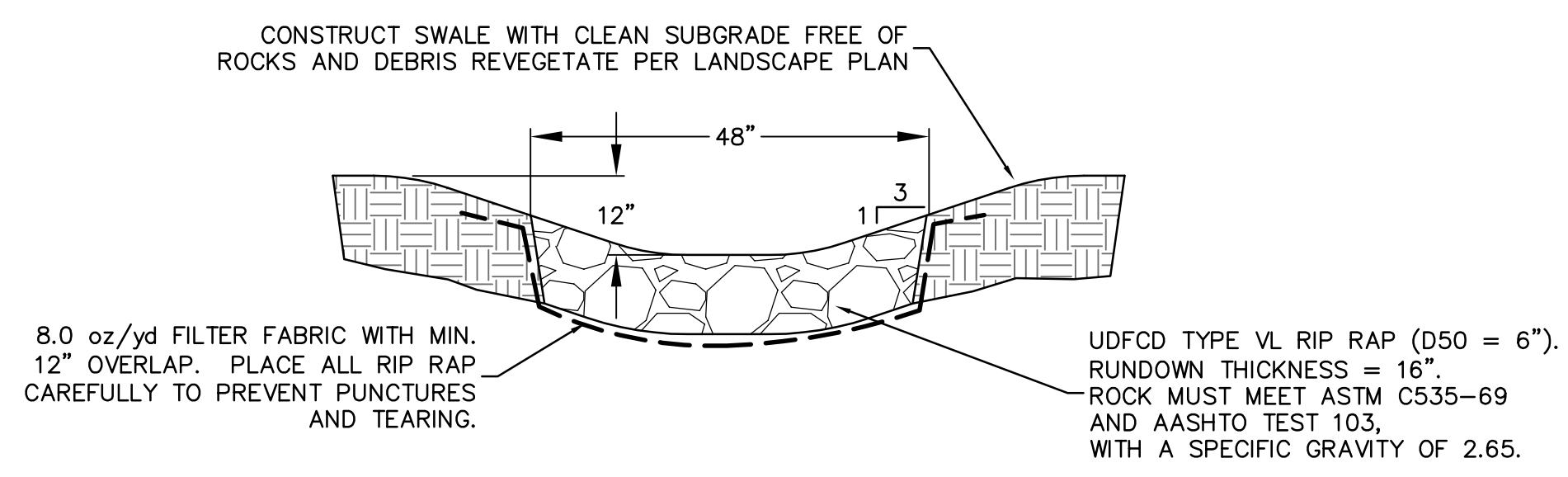


PROJECT: ANGELVIEW APARTMENTS  
SALIDA, CO  
SHEET TITLE: PHASE 1 GRADING PLAN

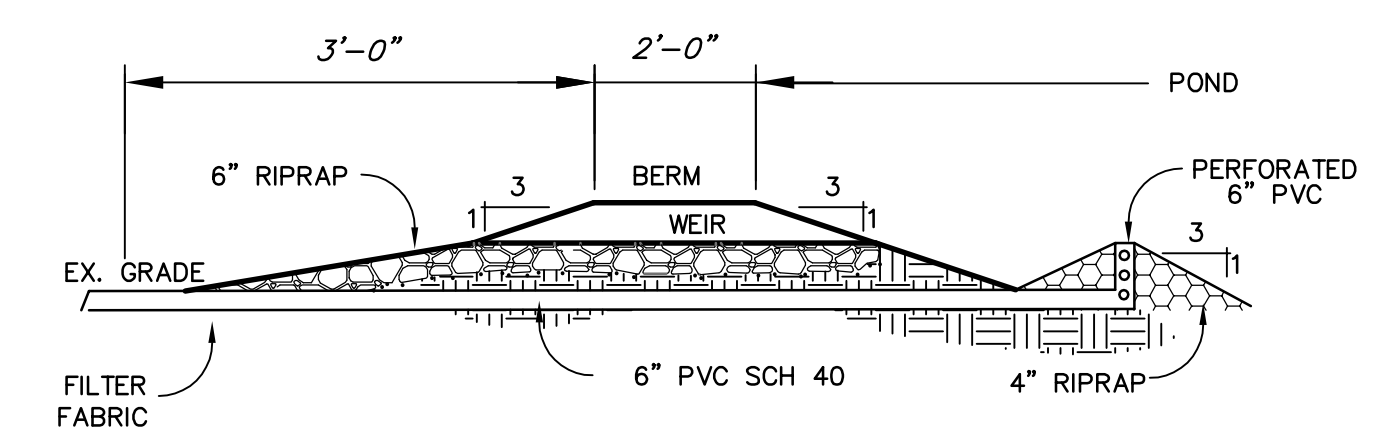
DEPARTMENT	DATE
CITY REVIEW	
WATER	
TRAFFIC	
FIRE DEPARTMENT	
SOLID WASTE	
LANDSCAPE	
TRAILS/OPEN SPACE	
SUBDIVISION REVIEW	

SHEET NO.  
**C2**

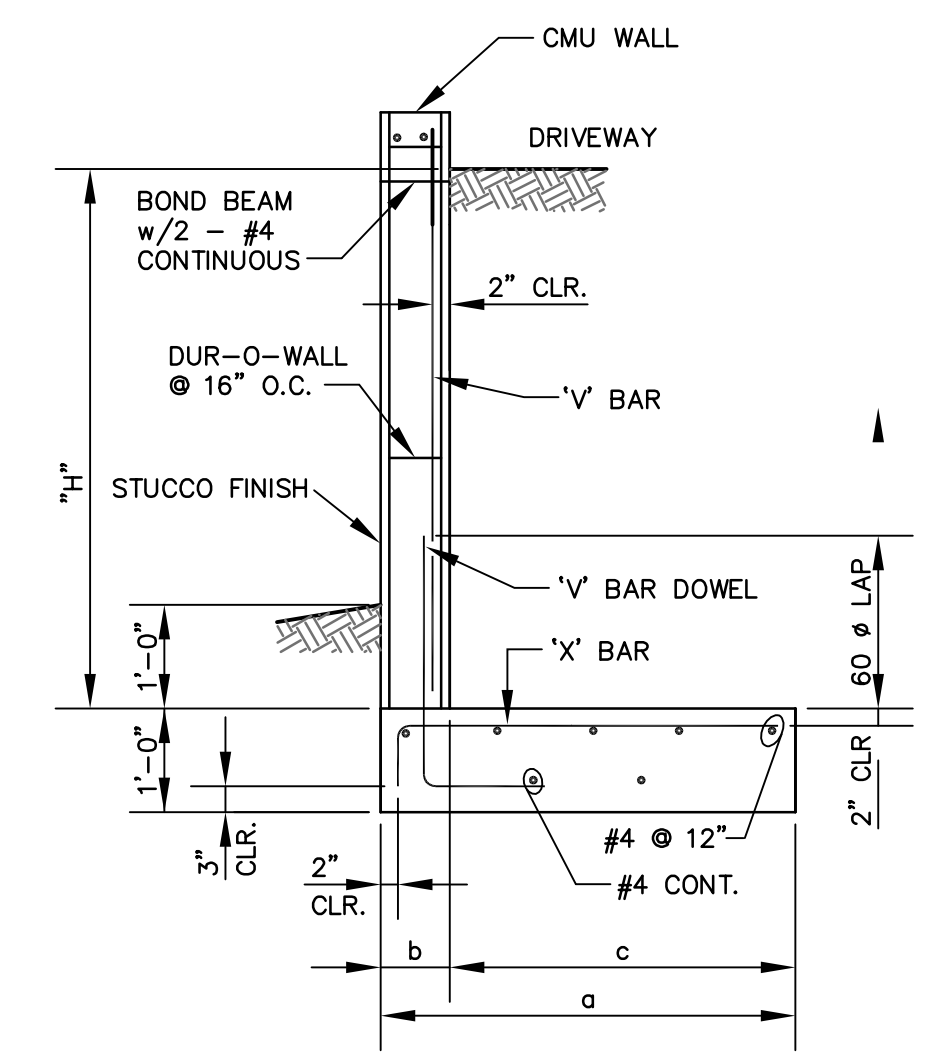




**ROCK DRAINAGE SWALE SECTION**  
CAPACITY 17 CFS at 1% SLOPE



**POND BERM DETAIL W/POND RISER**  
SEE DRAINAGE CALCULATIONS FOR POND ELEVATIONS  
NTS



H	a	b	c	V	X
6'-0" to 8'-0"	5'-0"	12"	4'-0"	#6 @ 24"	#5 @ 24"
4'-0" to 6'-0"	4'-0"	8"	3'-4"	#5 @ 16"	#4 @ 16"
4'-0" to 2'-0"	3'-0"	8"	2'-4"	#4 @ 16"	#3 @ 16"
less than 2'-0"	2'-0"	8"	1'-4"	#4 @ 32"	#3 @ 32"

REBAR  $f_y = 60,000$  psi  
CONCRETE  $f'_c = 3,000$  psi  
CMU  $f_m = 1,250$  psi  
GROUT  $f'_c = 2,000$  psi  
MORTAR TYPE M OR S

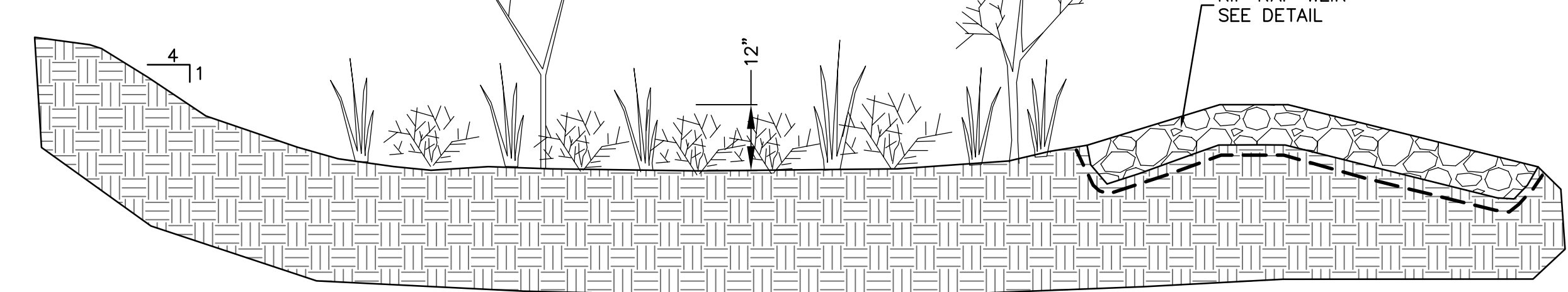
NOTE: V BAR DOWELS SAME SIZE, SPACING AND CLEARANCE AS V BARS.

**SUGGESTED PLANT MIX**

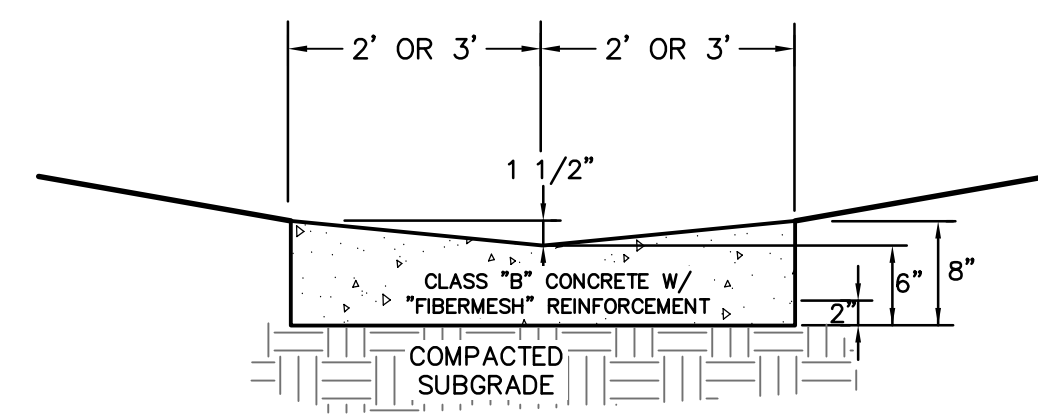
THE FOLLOWING PLANT MIX IS SUITABLE FOR WELL DRAINED SOILS THAT ARE LOW IN NUTRIENTS LIKE THOSE IN THIS AREA. MANY OF THESE PLANTS WILL ALSO THRIVE IN XERIC EXPOSURES. THIS PLANT MIX IS FOR PLAN REVIEW AND BIDDING ONLY. A FINAL LANDSCAPE PLAN AND SEED MIX TO BE SUBMITTED BY THE CONTRACTOR FOR REVIEW BY THE PROJECT OWNER AND PROJECT ENGINEER.

- SAMPLE PLANT MIX**
- PERENNIAL FLOWERS: BABY BLUE RABBITBRUSH, RUSSIAN SAGE
  - WINE CUPS OR POPPY MALLOW
  - LAVENDER
  - SUNSET HYSSOP
  - MAXIMILLIAN SUNFLOWER
  - CHOCOLATE FLOWER
- TREES**
- HOT WINGS MAPLE
  - RADIANT CRAB APPLE

- GRASSES**
- GIANT SACATON GRASS
  - BLUE GRAMA
  - SWITCHGRASS
- SHRUBS**
- APACE PLUMB



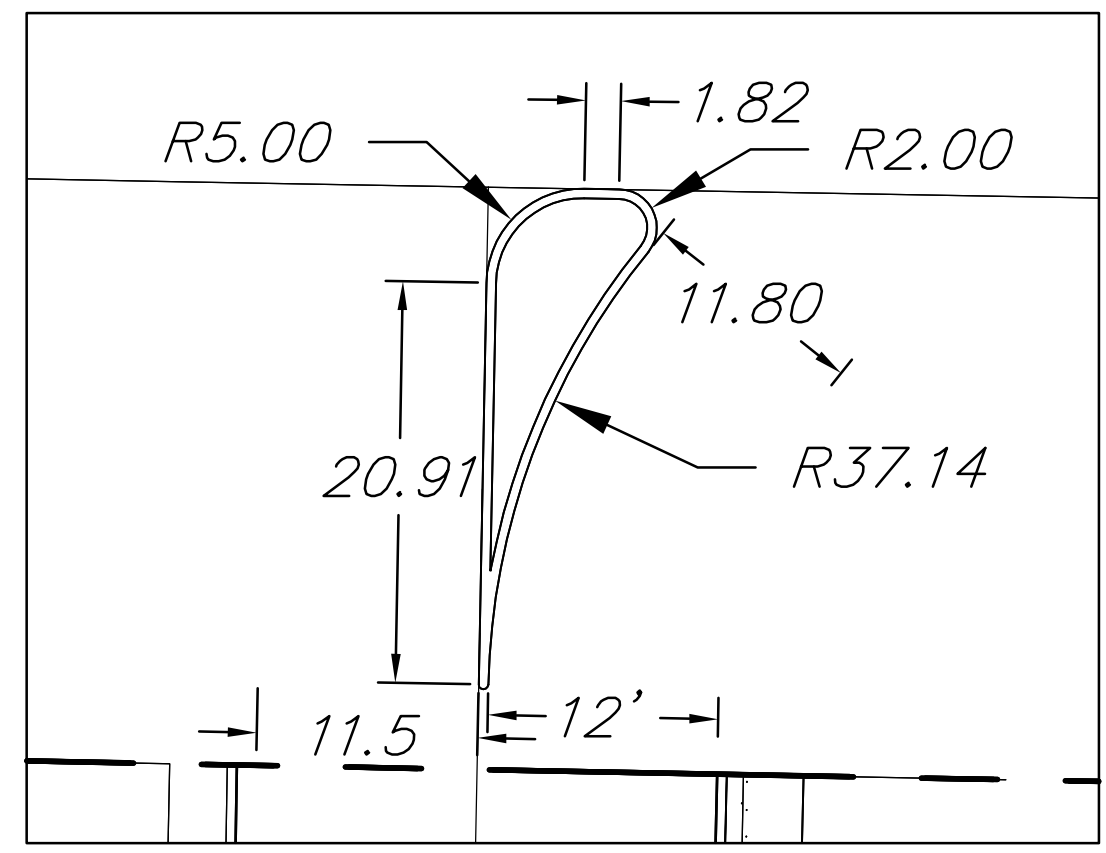
**TYPICAL STORM WATER RETENTION POND (RAIN GARDEN)**  
NOT TO SCALE



**CROSSPAN & GUTTER PAN**  
PER COS STANDARDS DRAWING ST-05  
CAPACITY 0.4 CFS at 1% SLOPE  
NOT TO SCALE

**GENERAL NOTES**

- LAND AND WATER CONCEPTS AND WATER ENGINEERING, WAIVE ANY AND ALL RESPONSIBILITY, AND ARE NOT LIABLE FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY OR FOR PROBLEMS WHICH ARISE FROM OTHERS OR OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS.
- THE CONTRACTOR SHALL NOT COMMENCE CONSTRUCTION WITHOUT CONSTRUCTION PLAN APPROVAL BY ALL RELEVANT AGENCIES. A COPY OF THE APPROVED PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES DURING WORKING HOURS.
- THE ENGINEER IS TO BE NOTIFIED PRIOR TO ANY PLAN CHANGES OR ON-SITE DESIGN MODIFICATIONS. ALL PLAN CHANGES MUST BE APPROVED BY THE ENGINEER.
- ALL EXISTING TOPOGRAPHIC AND SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED AND CERTIFIED BY OTHERS. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS TOPOGRAPHIC INFORMATION, AND MAKES NO REPRESENTATION PERTAINING THERETO AND THEREFORE ASSUMES NO RESPONSIBILITY OR LIABILITY.
- THE CONTRACTOR SHALL CONFINE HIS OPERATIONS TO THE CONSTRUCTION LIMITS OF THE PROJECT AND IN NO WAY SHALL ENCROACHMENT OCCUR ONTO ADJACENT PROPERTIES UNLESS LEGAL EASEMENTS ARE OBTAINED. ALL FILL AND CUT SLOPES SHALL BE SETBACK FROM THE PROPERTY LINE IN ACCORDANCE WITH CHAPTER 70 OF THE UNIFORM BUILDING CODE. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY AGREEMENTS NECESSARY OR DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO PUBLIC OR PRIVATE PROPERTY, INCLUDING UTILITIES.
- WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL AGENCIES' LAWS, RULES, REGULATIONS, AND PERMITS. ALL WORK SHALL BE SUBJECT TO INSPECTIONS AND SITE INVESTIGATION BY REGULATORY AGENCIES. FAILURE TO COMPLY WITH THESE REGULATIONS IS SUBJECT TO LEGAL ENFORCEMENT ACTION.
- COPIES OF PERMITS OBTAINED BY THE OWNER WILL BE PROVIDED TO THE CONTRACTOR. CONTRACTOR SHALL MAINTAIN COPIES OF ALL PERMITS ON THE SITE AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND SHOULD NOT RELY SOLELY ON THESE CONSTRUCTION PLANS FOR UTILITY LOCATIONS. CONTRACTOR MUST COMPLETE ALL UTILITY LOCATES PRIOR TO CONSTRUCTION. UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) 800-922-1987. DAMAGE TO ANY EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- IF PREVIOUSLY UNKNOWN ARCHEOLOGICAL MATERIALS ARE DISCOVERED DURING CONSTRUCTION ACTIVITIES, WORK SHALL STOP IMMEDIATELY AND THE ENGINEER AND OWNER SHALL BE CONTACTED. THE STATE HISTORIC PRESERVATION OFFICE WILL THEN BE CONTACTED BY THE ENGINEER OR OWNER FOR CONSULTATION.
- ALL APPROPRIATE SEDIMENT AND POLLUTION CONTROL MEASURES, AND BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE IN PLACE TO MINIMIZE SEDIMENTATION, SEDIMENT AND EROSION CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN DRAINAGE AND FLOOD CONTROL DISTRICT GUIDELINES.
- CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR THE DESIGN, IMPLEMENTATION, AND MAINTENANCE OF SEDIMENT AND EROSION CONTROLS IN CONFORMANCE WITH CONSTRUCTION STANDARDS AND THE REQUIREMENTS OF REGULATORY AGENCIES THROUGHOUT THE CONSTRUCTION PERIOD. THE ENGINEER WILL NOT BE ON-SITE TO APPROVE, REVIEW, OR MAINTAIN THE CONTROLS. STORM WATER MEASURES MAY BE REQUIRED TO BE INSTALLED AT ANY TIME DURING CONSTRUCTION.
- BMP'S PLUS TEMPORARY SEDIMENT AND EROSION CONTROL SHALL BE MAINTAINED TO BE FUNCTIONAL UNTIL THE SITE HAS REACHED FINAL STABILIZATION.
- ALL WASTE MATERIAL AND/OR EXCESS EXCAVATION NOT USED AS PART OF THE WORK SHALL BE REMOVED FROM THE JOB SITE AND DISPOSED OF AT ACCEPTABLE LOCATIONS IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR AT ALL TIMES DURING CONSTRUCTION SHALL PROVIDE WARNING SIGNS, BARRICADES, AND OTHER SAFETY DEVICES (INCLUDING TEMPORARY FENCING AROUND THE JOB SITE) TO PROTECT PUBLIC SAFETY AND HEALTH. CONSTRUCTION IN AND ADJACENT TO THE ROADWAY SHALL FOLLOW AN APPROVED TRAFFIC CONTROL PLAN COMPLETED BY THE CONTRACTOR. THE TRAFFIC CONTROL PLAN SHALL BE IN COMPLIANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL HOLES AND TRENCHES SAFELY CORDONED OFF AND BACKFILLED, COMPACTED AND PATCHED AS SOON AS POSSIBLE AFTER COMPLETION AND ALL INSPECTIONS.
- THE CONSTRUCTION SURVEYOR SHALL VERIFY ALL BUILDING, PARKING AND SIDEWALK LOCATIONS AS WELL AS PROPOSED GRADES AND INVERT ELEVATIONS, FLOW LINES, ALIGNMENTS, SETBACKS AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
- CONSOLIDATED FLOW FROM THE POND OVERFLOWS CAN CREATE EROSION. ANNUAL MAINTENANCE OF THE POND BERMS, WEIRS AND OVERFLOWS IS REQUIRED. FURTHER STABILIZATION MEASURES MAY BE NECESSARY. LWC RECOMMENDS PERIODIC OBSERVATIONS BY THE HOME OWNER ASSOCIATION. IF EXCESS EROSION IS OBSERVED, PLEASE NOTIFY LAND AND WATER CONCEPTS FOR RECOMMENDATIONS.



**ENTRANCE DIMENSIONS**

**STREETS, SIDEWALKS AND PARKING NOTES**

- ALL STREET, PARKING, SIDEWALK AND DRAINAGE INFRASTRUCTURE CONSTRUCTION WORK SHALL BE COMPLETED PER TECHNICAL SPECIFICATIONS AND PROJECT DRAWINGS APPLICABLE TO THE PROJECT AND SHALL CONFORM TO THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AS WELL AS THE SALIDA CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR WATER, SANITARY SEWER AND STREET, LATEST EDITION. IF ANY OF THESE STANDARDS DIFFER FROM THE DESIGN IN THIS PLAN SET, CONTACT LAND AND WATER CONCEPTS FOR CLARIFICATION AND DIRECTION BEFORE CONTINUING.
- ASPHALT PAVING GRADES SHALL NOT EXCEED A 5% SLOPE. ALL SIDEWALK GRADES SHALL NOT EXCEED A 5% SLOPE IN THE LONGITUDINAL DIRECTION. ALL SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2%, UNLESS NOTED ON THE PLANS.
- UNLESS OTHERWISE SPECIFIED, SUBGRADE AND BASE UNDER ALL ASPHALT AND CONCRETE WILL CONFORM TO THE FOLLOWING:
  - SUBGRADE: PREPARE AND COMPACT TO ACHIEVE A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH ASTM D698/AASHTO T-99 WITHIN +/-2% OF THE OPTIMUM MOISTURE CONTENT.
  - AGGREGATE ROAD BASE: MATERIAL SHALL BE CLASS 6 MEETING THE REQUIREMENTS OF CDOT SECTION 703.03
  - CLASS 6 AGGREGATE BASE SHALL BE PLACED IN MAXIMUM 6 INCH LIFTS AND SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY WITHIN +/-2% OF THE OPTIMUM MOISTURE CONTENT
  - WHERE PAVING IS NOT REQUIRED PER SECTION 9-8-4-A OF THE LAND USE CODE (OR AS APPROVED BY THE CITY), A MINIMUM OF 4" COMPACTED CLASS 6 AGGREGATE BASE AND 2" GRAVEL (3/4" CRUSHED MATERIAL) SURFACING SHALL BE PROVIDED
  - ALL CONCRETE SHALL BE 4000PSI
  - CONTRACTOR SHALL SUBMIT FOR REVIEW THE PROPOSED MIX DESIGN.
  - AN APPROVED CURING COMPOUND SHALL BE USED ON ALL FLAT WORK.
  - MAXIMUM SPACING OF CONTRACTION JOINTS IN CURB AND GUTTER SHALL BE 10 FEET.
  - SIDEWALKS, DRIVE APRONS AND HANDICAP RAMPS - CONTRACTION JOINTS SHALL PROVIDE PANELS AS NEARLY SQUARE AS PRACTICAL. IN RECTANGULAR PANELS, THE LONG SIDE SHALL BE NO LONGER THAN 1 1/2 TIMES AS LONG AS THE SHORT SIDE.
  - ALL SIDEWALK CONTRACTION JOINTS SHALL BE TOOLED UNLESS SAW CUT OR STRIP LOCK IS APPROVED. THE GROOVE OF CONTRACTION JOINTS SHALL BE 1/4 OF THE SLAB THICKNESS. THE RADIUS AT THE TOP OF THE GROOVE SHALL BE AS SMALL AS POSSIBLE.
  - CONTRACTION JOINTS SHALL BE PROVIDED AT "RE-ENTRANT" CORNERS. FIXED OBJECTS ISOLATED WITHIN AN INDIVIDUAL SECTION SHALL BE ISOLATED FROM THE MAIN SLAB WITH EXPANSION MATERIAL. TWO JOINTS SHALL RADIATE FROM THE OBJECT AND SHALL BE PERPENDICULAR TO THE JOINTS OF THE INDIVIDUAL SECTION.
  - EXPANSION JOINTS SHALL BE INSTALLED IN SIDEWALKS AT APPROXIMATELY 100' INTERVALS.
  - EXPANSION JOINTS SHALL BE INSTALLED WHEN ABUTTING CONCRETE OR A FIXED STRUCTURE UNLESS SHOWN OTHERWISE IN THE PROJECT DRAWINGS OR AS APPROVED BY THE CITY PUBLIC WORKS DIRECTOR OR CITY ENGINEER.
  - EXPANSION JOINT MATERIAL SHALL BE 1/2" THICK AND SHALL EXTEND THE FULL DEPTH OF THE CONTACT SURFACE.
  - NO WORK SHALL BE STARTED ON THE PROJECT UNTIL THE CONTRACTOR HAS SUBMITTED TO THE OWNER FOR REVIEW A SATISFACTORY JOB MIX FORMULA BASED UPON TESTS OF THE MATERIALS TO BE FURNISHED
- THE CITY MAY PROVIDE SOME TESTING FOR THEIR OWN BENEFIT IN ADDITION TO TESTING REQUIRED BY THE OWNER/DEVELOPER AND/OR CONTRACTOR. DEVELOPER/CONTRACTOR SHALL NOTIFY OWNER AND/OR CITY SUFFICIENTLY IN ADVANCE OF OPERATIONS AND SHALL PROVIDE ACCESS TO THE WORK TO BE TESTED. IF TESTS FAIL TO MEET SPECIFIED REQUIREMENTS, THE CONTRACTOR SHALL PROMPTLY REMEDY SUCH DEFICIENCIES, AND SHALL BE RESPONSIBLE TO THE OWNER FOR THE COSTS OF ANY RETESTING DEEMED NECESSARY TO VERIFY CORRECTION OF THE DEFICIENCY.

Civil Engineering • Water Resources • Traffic Engineering

**W.E Walker Engineering**

905 Camino Sierra Vista, Santa Fe, NM 87505

505-820-7990  
FAX 505-820-3539  
E-MAIL: [civil@walkerengineering.net](mailto:civil@walkerengineering.net)

No.	REVISION	BY	APP.	DATE

PROJECT: 16-163 DESIGNED BY: P.L.B.  
FILE: 163 GRADE DRAWN BY: P.L.B.  
DATE: 11/10/17 CHECKED BY: M.E.W.  
SCALE: AS NOTED



PROJECT: ANGELVIEW TOWNHOMES

CITY: SALIDA, CO

SHEET TITLE: DETAILS AND GENERAL NOTES

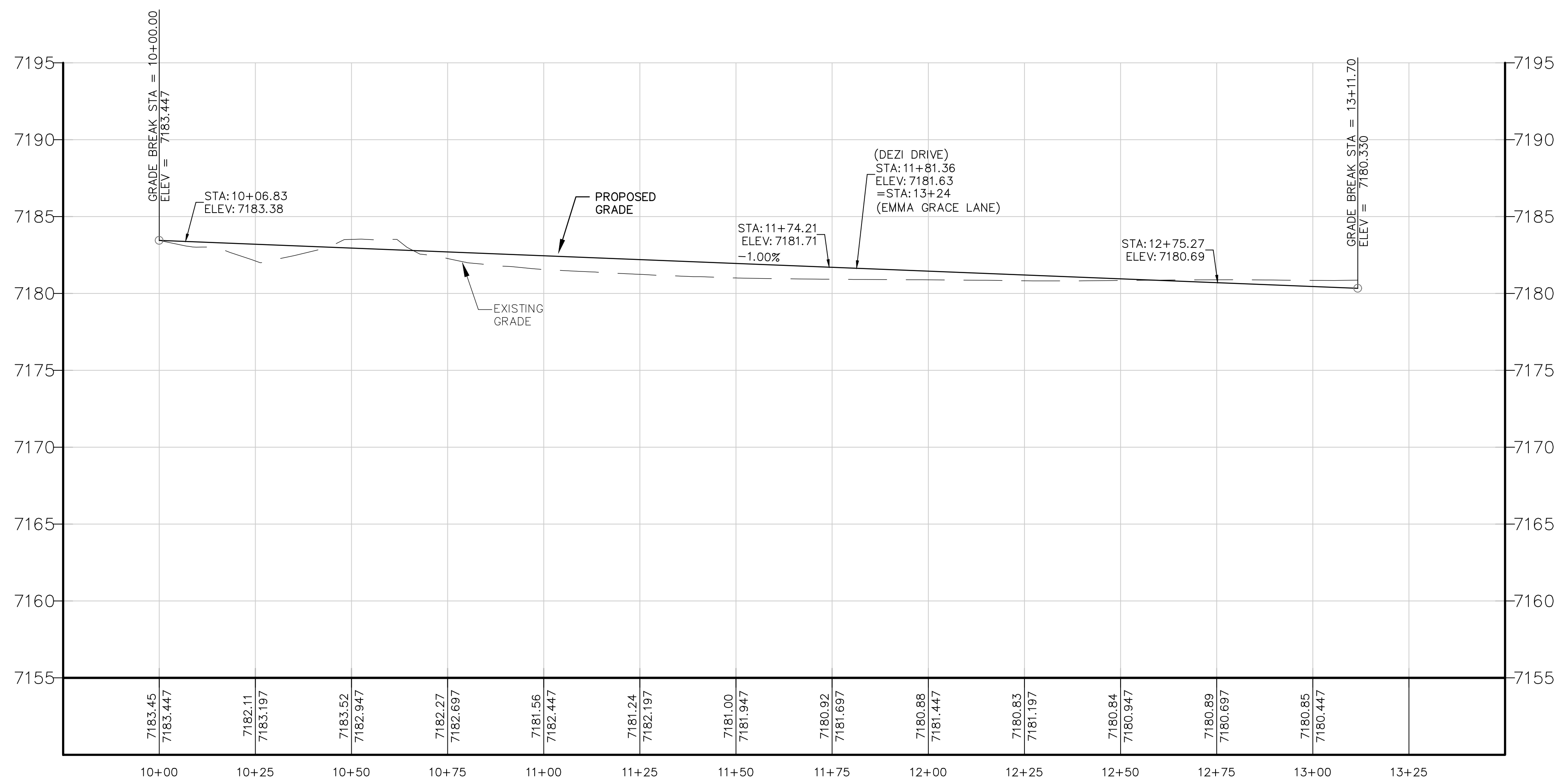
CITY REVIEW	DATE
DEPARTMENT	
WATER	
TRAFFIC	
PW ENGINEERING	
FIRE DEPARTMENT	
SOLID WASTE	
LANDSCAPE	
TRAILS/OPEN SPACE	
SUBDIVISION REVIEW	

SHEET NO. **C3**





DEZI DRIVE  
STA 10+00 TO 13+11.70



**LEGEND**

	EXISTING CONTOURS
	DESIGN CONTOURS
	LOT LINE
	PROPOSED SPOT ELEVATION
	FIELD GRADE
	RIP RAP MAT
	WATER FLOW DIRECTION
	FINISHED PAD
	ASPHALT
	GRAVEL
	CURB AND GUTTER
	NEW SIDEWALK

Civil Engineering • Water Resources • Traffic Engineering

**W.E Walker Engineering**

905 Camino Sierra Vista, Santa Fe, NM 87505  
505-820-7990  
FAX 505-820-3539  
E-MAIL: civil@walkerengineering.net

No.	REVISION	BY	APP.	DATE

PROJECT: 16-163 DESIGNED BY: P.L.B.  
FILE: 163 PNP DRAWN BY: P.L.B.  
DATE: 11/10/17 CHECKED BY: M.E.W.  
SCALE: AS NOTED



PROJECT: ANGELVIEW TOWNHOMES  
SALIDA, CO

SHEET TITLE: DEZI DRIVE  
PLAN AND PROFILE

CITY REVIEW	DATE
DEPARTMENT OF WATER	
WATER	
TRAFFIC	
FIRE DEPARTMENT	
SOLID WASTE	
LANDSCAPE	
TRAILS/OPEN SPACE	
SUBDIVISION REVIEW	

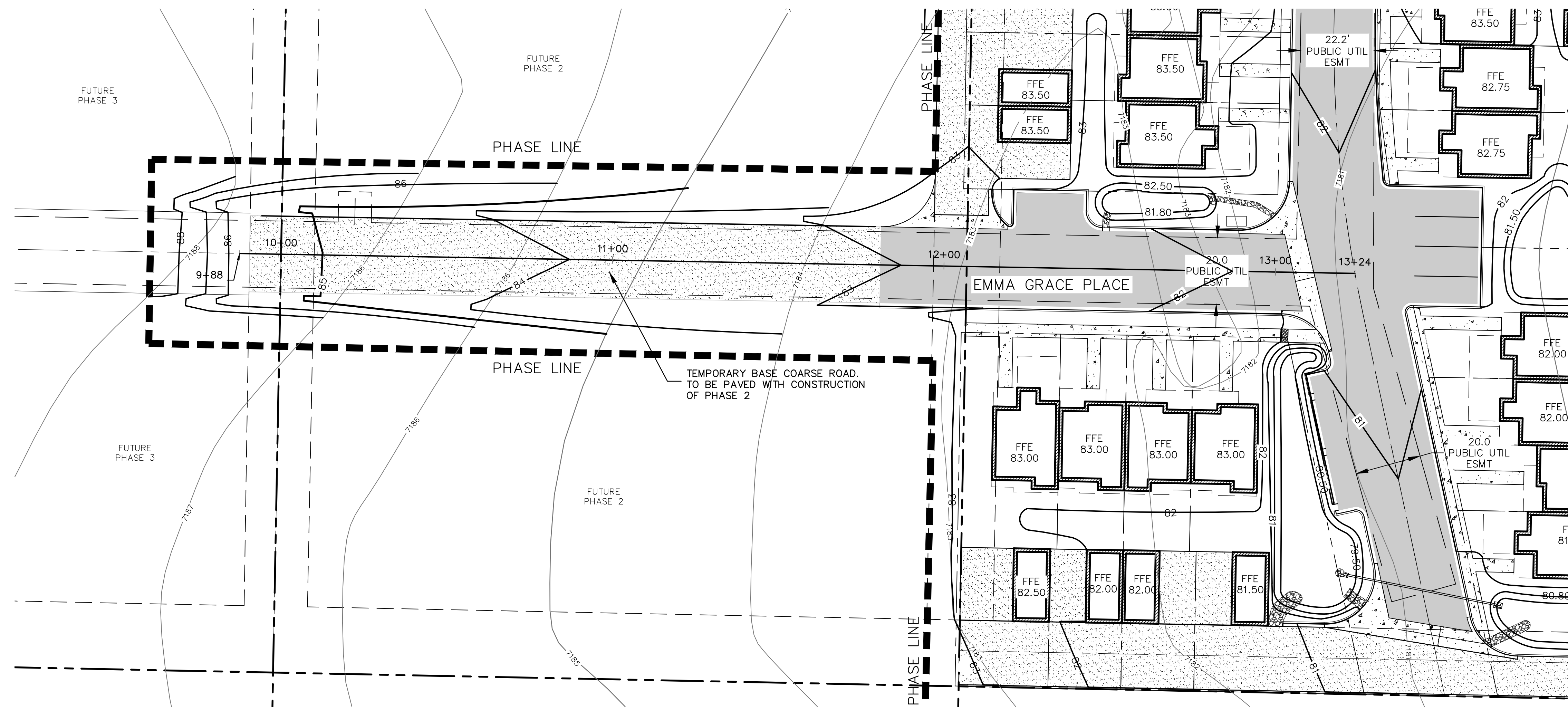
**RECORD DRAWINGS**

THIS RECORD DOCUMENT HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION AS PROVIDED BY OTHERS. WALKER ENGINEERING CERTIFIES THAT THE INFORMATION SHOWN IS A REASONABLE DOCUMENTATION OF THE FINAL CONSTRUCTION.

MOREY E. WALKER, P.E. 32033 DATE

SHEET NO. **C4**

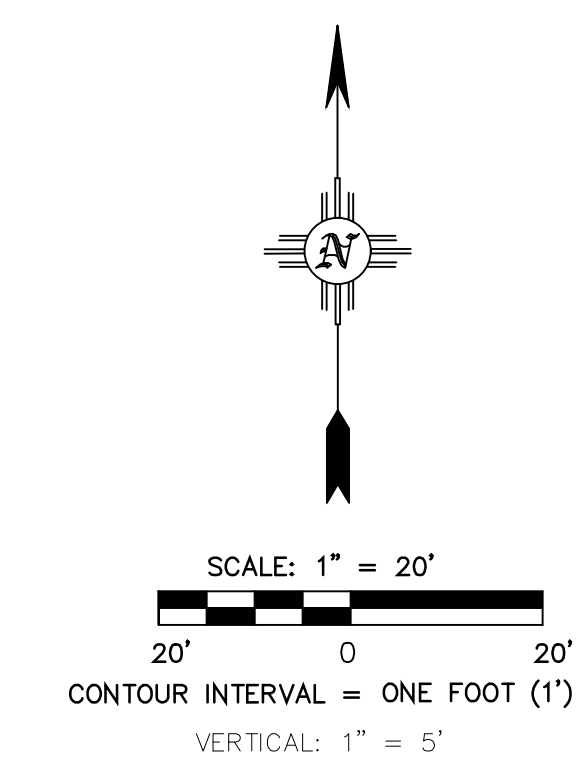
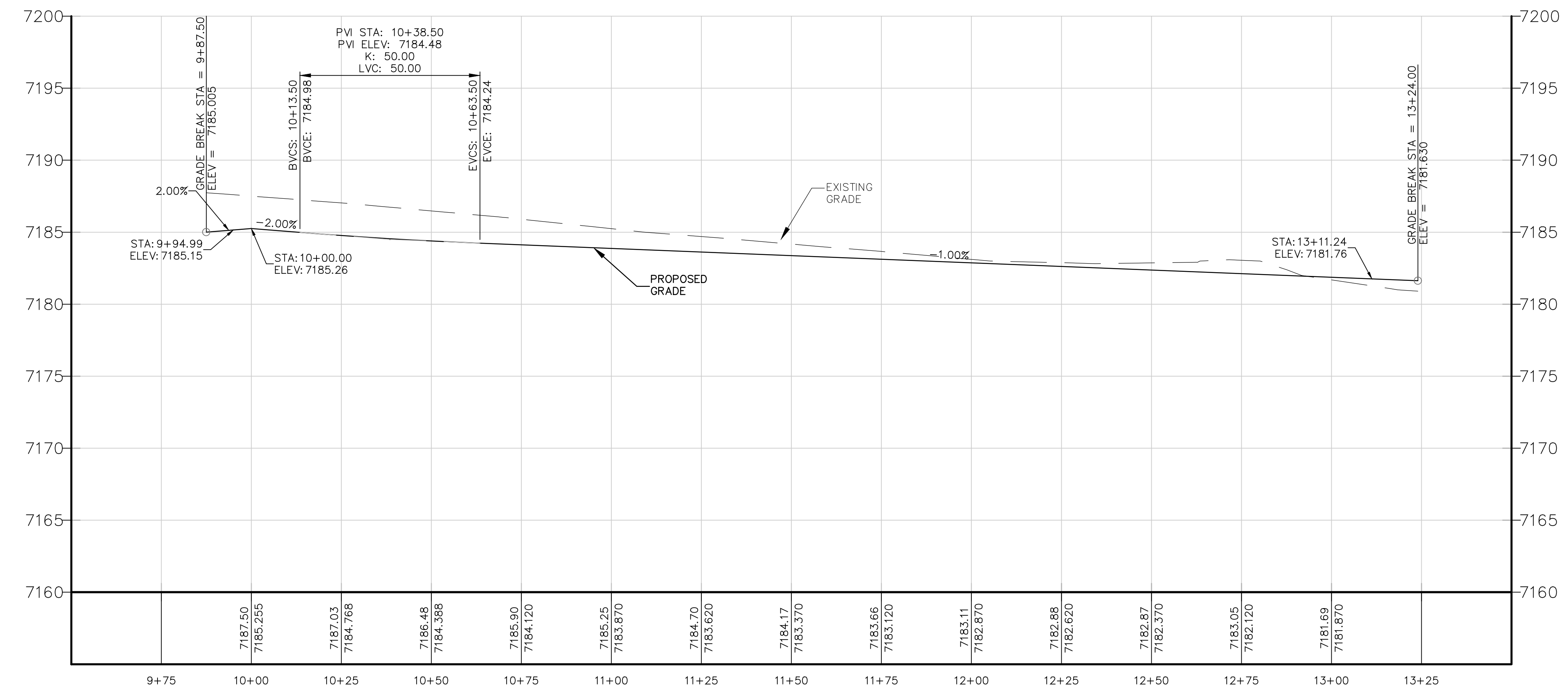




### LEGEND

	EXISTING CONTOURS
	DESIGN CONTOURS
	LOT LINE
	PROPOSED SPOT ELEVATION
	FIELD GRADE
	RIP RAP MAT
	WATER FLOW DIRECTION
	FINISHED PAD
	ASPHALT
	GRAVEL
	CURB AND GUTTER
	NEW SIDEWALK

EMMA GRACE PLACE  
STA 9+88 TO 13+24



### RECORD DRAWINGS

THIS RECORD DOCUMENT HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION AS PROVIDED BY OTHERS. WALKER ENGINEERING CERTIFIES THAT THE INFORMATION SHOWN IS A REASONABLE DOCUMENTATION OF THE FINAL CONSTRUCTION.

MOREY E. WALKER, P.E. 32033 DATE

Civil Engineering • Water Resources • Traffic Engineering

## W.E. Walker Engineering

905 Camino Sierra Vista, Santa Fe, NM 87505  
505-820-7990  
FAX 505-820-8539  
E-MAIL: [civil@walkerengineering.net](mailto:civil@walkerengineering.net)

No.	REVISION	BY	APP.	DATE

PROJECT: 16-163 DESIGNED BY: P.L.B.  
 FILE: 163 PNP DRAWN BY: P.L.B.  
 DATE: 11/10/17 CHECKED BY: M.E.W.  
 SCALE: AS NOTED



PROJECT: ANGELVIEW TOWNHOMES  
 SALIDA, CO  
 SHEET TITLE: EMMA LANE  
 SAS PLAN AND PROFILE

CITY REVIEW	DATE
DEPARTMENT	
WATER	
TRAFFIC	
FIRE DEPARTMENT	
SOLID WASTE	
LANDSCAPE	
TRAILS/OPEN SPACE	
SUBDIVISION REVIEW	

SHEET NO.  
**C5**



**LEGEND**

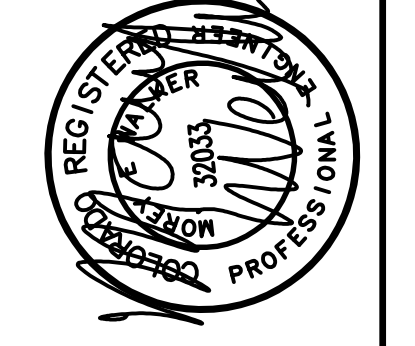
	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROPOSED WATER VALVE & BOX
	PROPOSED METER
	PROPOSED SEWER
	PROPOSED SAS MANHOLE
	4" SEWER LATERAL
	WATER SERVICE



Civil Engineering • Water Resources • Traffic Engineering  
**W.E Walker Engineering**  
 905 Camino Sierra Vista, Santa Fe, NM 87505  
 505-820-7990  
 FAX 505-820-3539  
 E-MAIL: civil@walkerengineering.net

No.	REVISION	BY	APP.	DATE

PROJECT: 16-163 DESIGNED BY: P.L.R.  
 FILE: 163 PNP DRAWN BY: P.L.R.  
 DATE: 11/10/17 CHECKED BY: M.E.W.  
 SCALE: AS NOTED



PROJECT: ANGELVIEW TOWNHOMES  
 SALIDA, CO  
 SHEET TITLE: OVERALL  
 SANITARY SEWER PLAN

CITY REVIEW	DATE
DEPARTMENT	
WATER	
PW ENGINEERING	
TRAFFIC	
FIRE DEPARTMENT	
SOLID WASTE	
LANDSCAPE	
TRAILS/OPEN SPACE	
SUBDIVISION REVIEW	

**RECORD DRAWINGS**

THIS RECORD DOCUMENT HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION AS PROVIDED BY OTHERS. WALKER ENGINEERING CERTIFIES THAT THE INFORMATION SHOWN IS A REASONABLE DOCUMENTATION OF THE FINAL CONSTRUCTION.

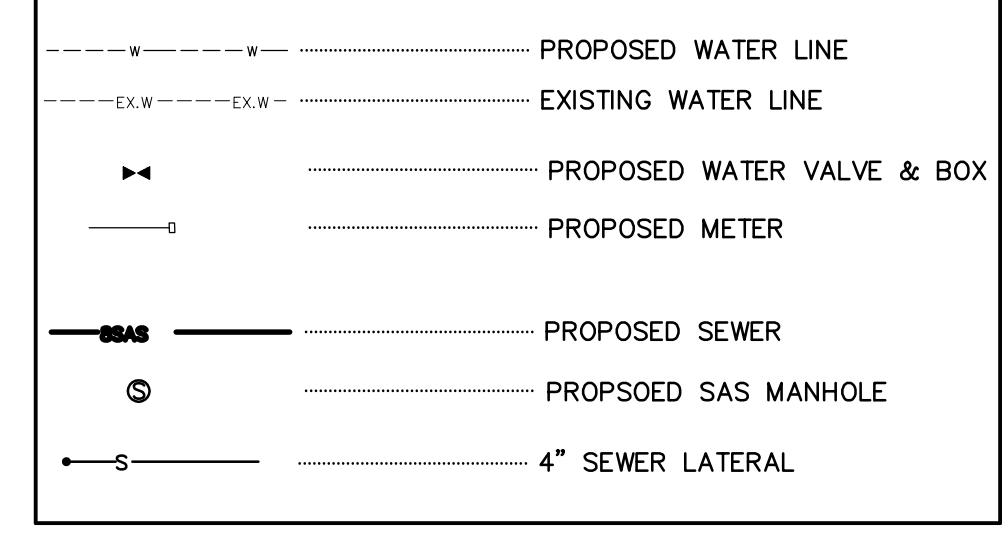
MOREY E. WALKER, P.E. 32033 DATE

SHEET NO.  
**C6**





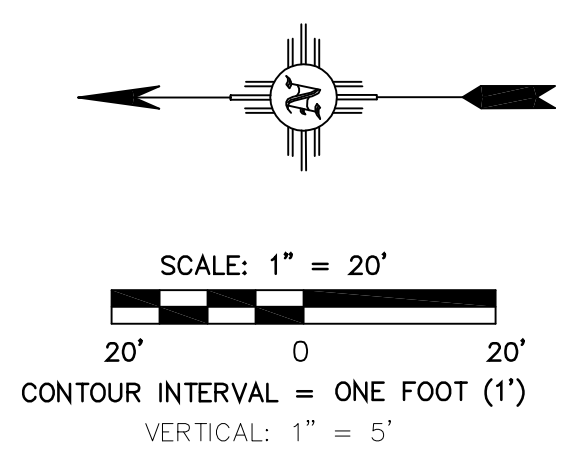
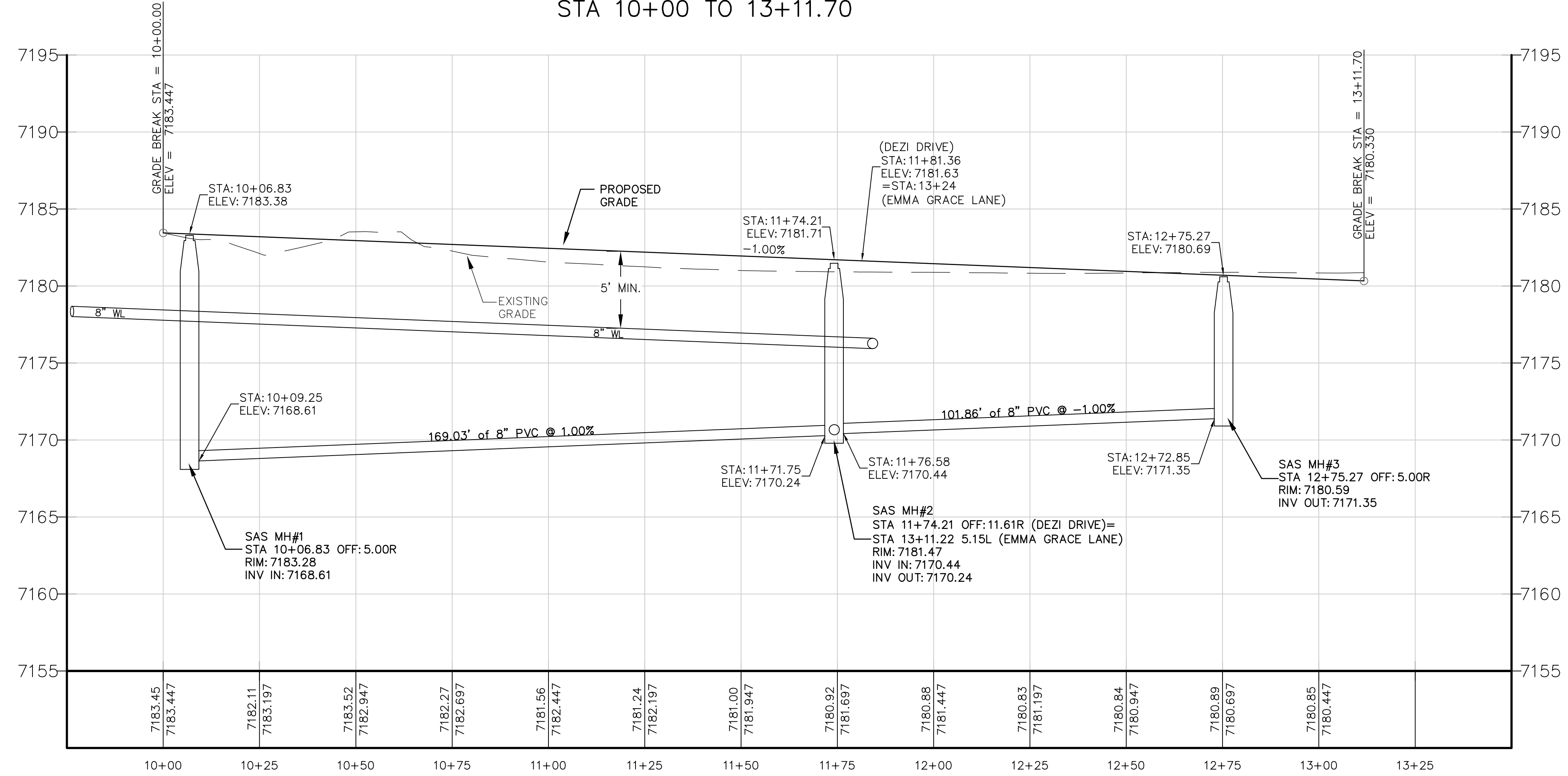
**LEGEND**



**UTILITY NOTE**

ALL WATER AND SEWER CONSTRUCTION SHALL BE PER SALIDA STANDARDS.

DEZI DRIVE  
STA 10+00 TO 13+11.70



**RECORD DRAWINGS**

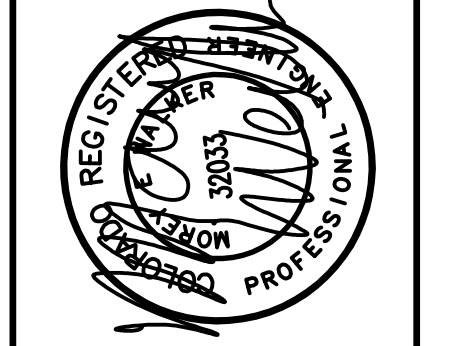
THIS RECORD DOCUMENT HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION AS PROVIDED BY OTHERS. WALKER ENGINEERING CERTIFIES THAT THE INFORMATION SHOWN IS A REASONABLE DOCUMENTATION OF THE FINAL CONSTRUCTION.

MOREY E. WALKER, P.E. 32033 DATE

Civil Engineering • Water Resources • Traffic Engineering  
**W.E Walker Engineering**  
 905 Camino Sierra Vista, Santa Fe, NM 87505  
 505-820-7990  
 FAX 505-820-3539  
 E-MAIL: civil@walkerengineering.net

No.	REVISION	BY	APP.	DATE

PROJECT: 16-163 DESIGNED BY: P.L.B.  
 FILE: 163 PNP DRAWN BY: P.L.B.  
 DATE: 11/10/17 CHECKED BY: M.E.W.  
 SCALE: AS NOTED

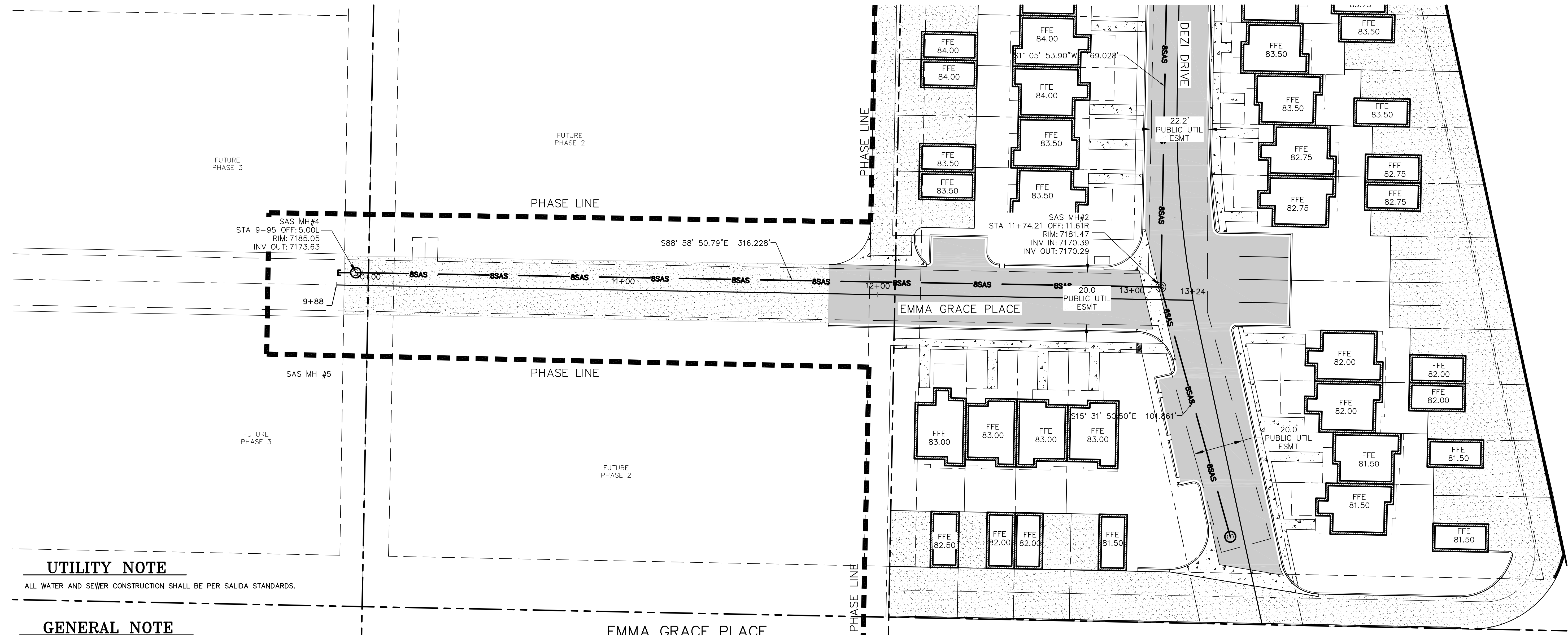


PROJECT: ANGELVIEW TOWNHOMES  
 SALIDA, CO  
 SHEET TITLE: DEZI DRIVE  
 SAS PLAN AND PROFILE

DEPARTMENT	DATE
WATER	
PW ENGINEERING	
TRAFFIC	
FIRE DEPARTMENT	
SOLID WASTE	
LANDSCAPE	
TRAILS/OPEN SPACE	
SUBDIVISION REVIEW	

SHEET NO.  
**C7**





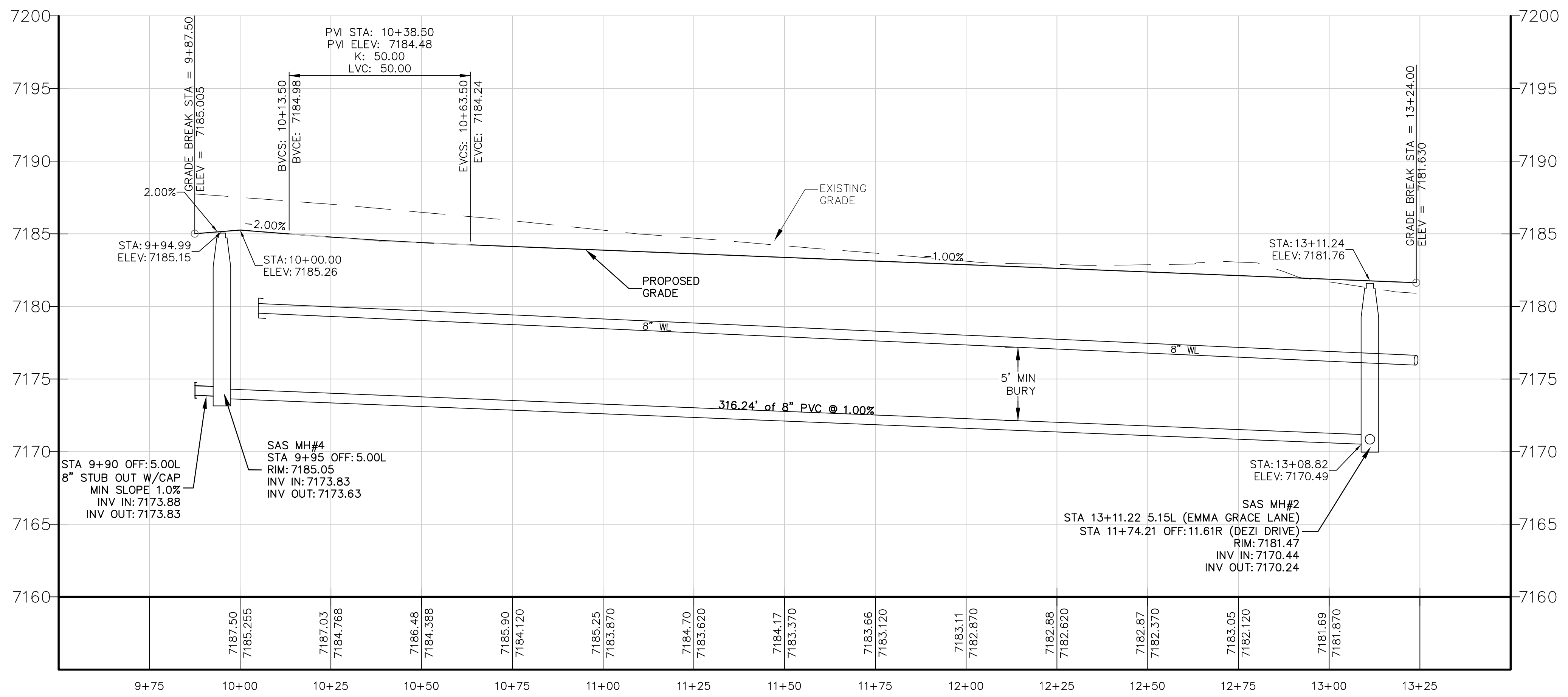
**UTILITY NOTE**

ALL WATER AND SEWER CONSTRUCTION SHALL BE PER SALIDA STANDARDS.

**GENERAL NOTE**

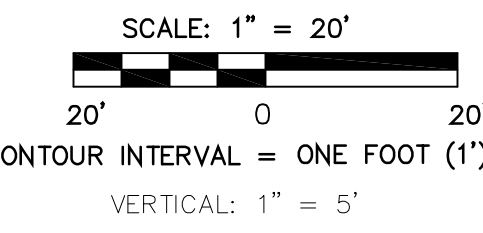
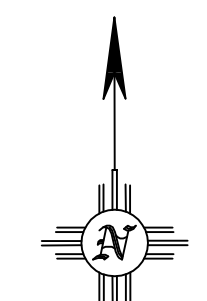
SANITARY SEWER LINES SHALL BE INSTALLED WITH SPECIFIED BEDDING AND BACKFILL MATERIAL. REFER TO CSS SECTION 5.00 AND 6.00.

EMMA GRACE PLACE  
STA 9+88 TO 13+24



**LEGEND**

	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROPOSED WATER VALVE & BOX
	PROPOSED METER
	PROPOSED SEWER
	PROPOSED SAS MANHOLE
	4" SEWER LATERAL
	WATER SERVICE



**RECORD DRAWINGS**

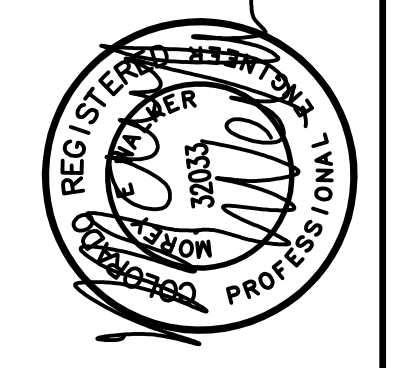
THIS RECORD DOCUMENT HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION AS PROVIDED BY OTHERS. WALKER ENGINEERING CERTIFIES THAT THE INFORMATION SHOWN IS A REASONABLE DOCUMENTATION OF THE FINAL CONSTRUCTION.

MOREY E. WALKER, P.E. 32033 DATE

Civil Engineering • Water Resources • Traffic Engineering  
**W.E. Walker Engineering**  
 905 Camino Sierra Vista, Santa Fe, NM 87505  
 505-820-7990  
 FAX 505-820-3539  
 E-MAIL: [civil@walkerengineering.net](mailto:civil@walkerengineering.net)

No.	REVISION	BY	APP.	DATE

PROJECT: 16-163 DESIGNED BY: P.L.B.  
 FILE: 163 PNP DRAWN BY: P.L.B.  
 DATE: 11/10/17 CHECKED BY: M.E.W.  
 SCALE: AS NOTED



PROJECT: ANGELVIEW TOWNHOMES  
 SALIDA, CO  
 SHEET TITLE: EMMA LANE  
 SAS PLAN AND PROFILE

DEPARTMENT	DATE
WATER	
PW ENGINEERING	
TRAFFIC	
FIRE DEPARTMENT	
SOLID WASTE	
LANDSCAPE	
TRAILS/OPEN SPACE	
SUBDIVISION REVIEW	

SHEET NO.  
**C8**



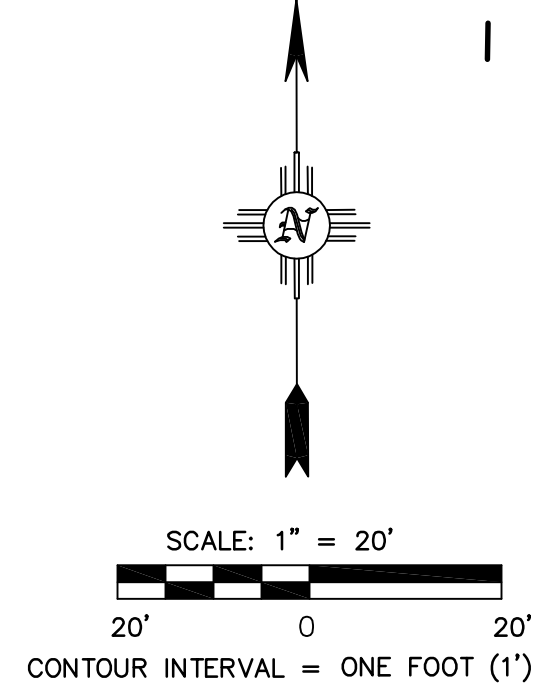
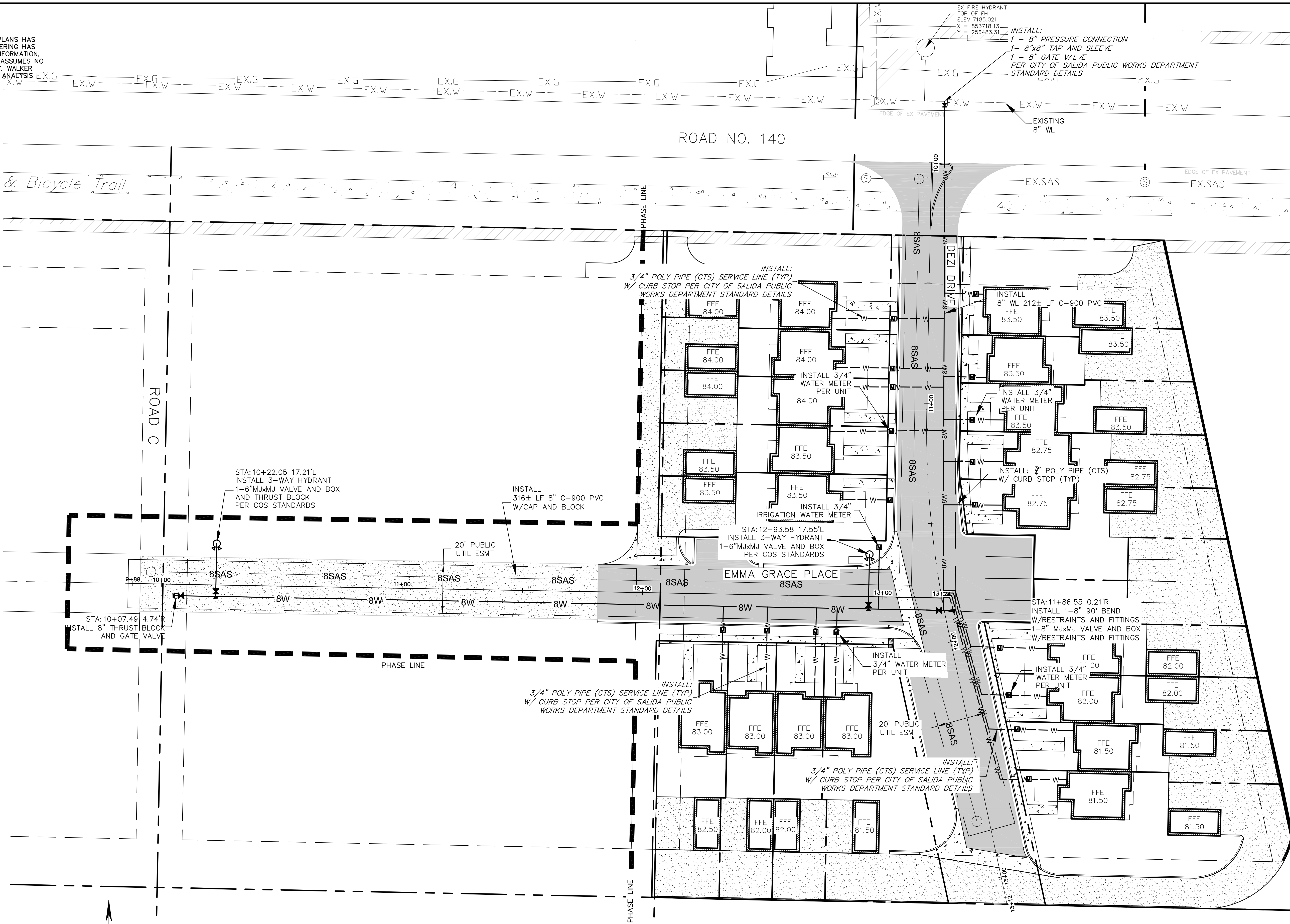
### TOPOGRAPHY NOTE

ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED AND CERTIFIED BY OTHERS. WALKER ENGINEERING HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS TOPOGRAPHY INFORMATION, AND MAKES NO REPRESENTATION PERTAINING THERE TO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR OF THIS TOPOGRAPHY. WALKER ENGINEERING'S RESPONSIBILITY IS LIMITED TO THE ENGINEERING ANALYSIS THAT UTILIZES THE TOPOGRAPHY SURVEY.

NOTE: LAND AND WATER CONCEPTS, LLC AND WALKER ENGINEERING ASSUME NO RESPONSIBILITY FOR ANY DAMAGES, INCLUDING STRUCTURAL FAILURES DUE TO ANY DEFICIENCIES, OMISSIONS OR ERRORS BY OTHERS. IN ANY INSTANCE THE MAXIMUM LIABILITY OF LAND AND WATER CONCEPTS, LLC AND WALKER ENGINEERING SHALL BE A REFUND OF THE PRICE OF THE SERVICES PERFORMED. IT IS RECOMMENDED THAT YOU CONSULT WITH THE LOCAL BUILDING OFFICIALS AND/OR ENGINEER PRIOR TO THE START OF ACTUAL CONSTRUCTION.

### UTILITY NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND SHOULD NOT RELY SOLELY ON THESE CONSTRUCTION PLANS FOR UTILITY LOCATIONS. CONTRACTOR MUST COMPLETE ALL UTILITY LOCATES PRIOR TO CONSTRUCTION. Utility Notification Center of Colorado (UNCC) 800-922-1987. DAMAGE TO ANY EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS ASSUMED THAT ALL GAS LINES ARE TO BE INSTALLED BY ATMOS GAS AND ALL ELECTRIC LINES BY EXCEL ENERGY. ALL TRENCHING AND INSTALLATION TO BE COMPLETED ACCORDING TO ATMOS AND EXCEL REQUIREMENTS. LOCATION OF ELECTRIC PRIMARY, SECONDARY LINES AND ALL TRANSFORMER PROVIDED BY EXCEL. ALL ELECTRIC AND GAS LINES ARE SHOWN HERE FOR REFERENCE ONLY.
- CABLE AND TELEPHONE TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL CABLE AND TELEPHONE PROVIDER. LOCATIONS ARE SHOWN FOR PLANNING PURPOSES ONLY.
- IF ANY OF THESE STANDARDS DIFFER FROM THE DESIGN IN THIS PLAN SET, CONTACT WALKER ENGINEERING FOR CLARIFICATION AND DIRECTION BEFORE CONTINUING.
- ALL PUBLIC WATER IMPROVEMENTS SHALL CONFORM TO THE CITY OF SALIDA STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION, AS WELL AS THE STANDARDS PROMULGATED BY THE WATER QUALITY CONTROL DIVISION OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND BY THE UNI-BELL PVC PIPE ASSOCIATION. IF ANY OF THESE STANDARDS DIFFER FROM THE DESIGN IN THIS PLAN SET, CONTACT WALKER ENGINEERING FOR CLARIFICATION AND DIRECTION BEFORE CONTINUING.
- ALL UNDERGROUND WATERLINES SHALL BE PVC PRESSURE AWWA C-900. ALL HIGH DENSITY POLYETHYLENE PIPING SHALL BE DR9 pressure class 200 psi, C.T.S. "COPPER TUBE SIZING" ALL PVC AND POLYETHYLENE PIPING SHALL BE INSTALLED WITH A CONTINUOUS, Direct Burial #12 AWG Solid (.0808" diameter) tracer wire, 45 mil high molecular weight-high density blue polyethylene jacket complying with ASTM D-1248, 30 volt rating for location purposes by means of an electronic line tracer.
- ALL UNDERGROUND WATERLINES PIPING SHALL MAINTAIN A MINIMUM 5' BURY AND shall be designed to be restrained mechanically without the use of thrust blocks when at all possible.
- ALL NEW WATER VALVES AND METERS THAT FALL WITHIN THE LIMITS OF ANY PAVED ROADWAY OR SIDEWALK SHALL HAVE A CONCRETE COLLAR AND CAST IRON COVER PER CITY OF SALIDA STANDARDS AND SPECIFICATIONS.
- Maintain separation of water main from sewer piping a minimum of 10 feet horizontal and 2-ft vertical. separation shall meet local and state standards for separation requirements. At no time shall a bell or spigot PVC pipe joint be located within 5 feet of the centerline of a sanitary sewer pipe trench.
- When water pipeline crosses a sanitary service, perform work in accordance with City of Salida Standard Details. The Contractor shall physically locate the centerline of the existing sewer main and center of a full pipe joint (nominal joint length of 20 linear feet) across the sewer main (+/- 1-foot from the center of the joint). Crossings shall likely require the Contractor to cut and re-bevel the end of the previously laid pipe joint to fit. New water main shall be installed a minimum of 6-inches above the top of the existing sewer main pipe. The water main shall be blocked on both sides of the sewer pipe with concrete blocks resting on undisturbed native soil. Bedding and backfill materials within 3-feet either side of the intersection of water and sewer pipe shall be lightly compacted (less than 95% Standard Proctor density) until the water main is backfilled to approximately 6-inches above the top of the pipe, at which point normal compaction shall begin.
- FOR ALL WATER AND SEWER LINES. Place bedding material at trench bottom per City of Salida Standard Details, level fill materials under pipe in one continuous layer not less than 4 inches compacted depth up to 6 inches above the top of the pipe; compact to 92 percent, maximum dry density, ASTM D698, Standard Proctor.
- THE CONTRACTOR SHALL COMPLETE AN AS-BUILT SURVEY AND DRAWINGS TO BE SUBMITTED TO THE CITY OF SALIDA.



LEGEND	
	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROPOSED WATER VALVE & BOX
	PROPOSED METER
	PROPOSED SEWER
	PROPOSED SAS MANHOLE
	4" SEWER LATERAL
	WATER SERVICE

### WATERLINE NOTE

- PVC WATERLINES SHALL BE INSTALLED WITH TRACER IN ACCORDANCE WITH SALIDA CSS.
- WATERLINES TO HAVE A MINIMUM BURY DEPTH OF 5' BELOW FINISHED GRADE.
- WATERLINE CONSTRUCTION DETAILS TO BE PER SALIDA CSS.

Civil Engineering • Water Resources • Traffic Engineering

**W.E Walker Engineering**

905 Camino Sierra Vista, Santa Fe, NM 87505

505-820-7990  
FAX 505-820-3539  
E-MAIL: civil@walkerengineering.net

No.	REVISION	BY	APP.	DATE

PROJECT: 16-163  
FILE: 163 WATER  
DATE: 11/10/17  
SCALE: AS NOTED

P.L.B. DESIGNED BY:  
M.E.W. DRAWN BY:  
M.E.W. CHECKED BY:  
AS NOTED



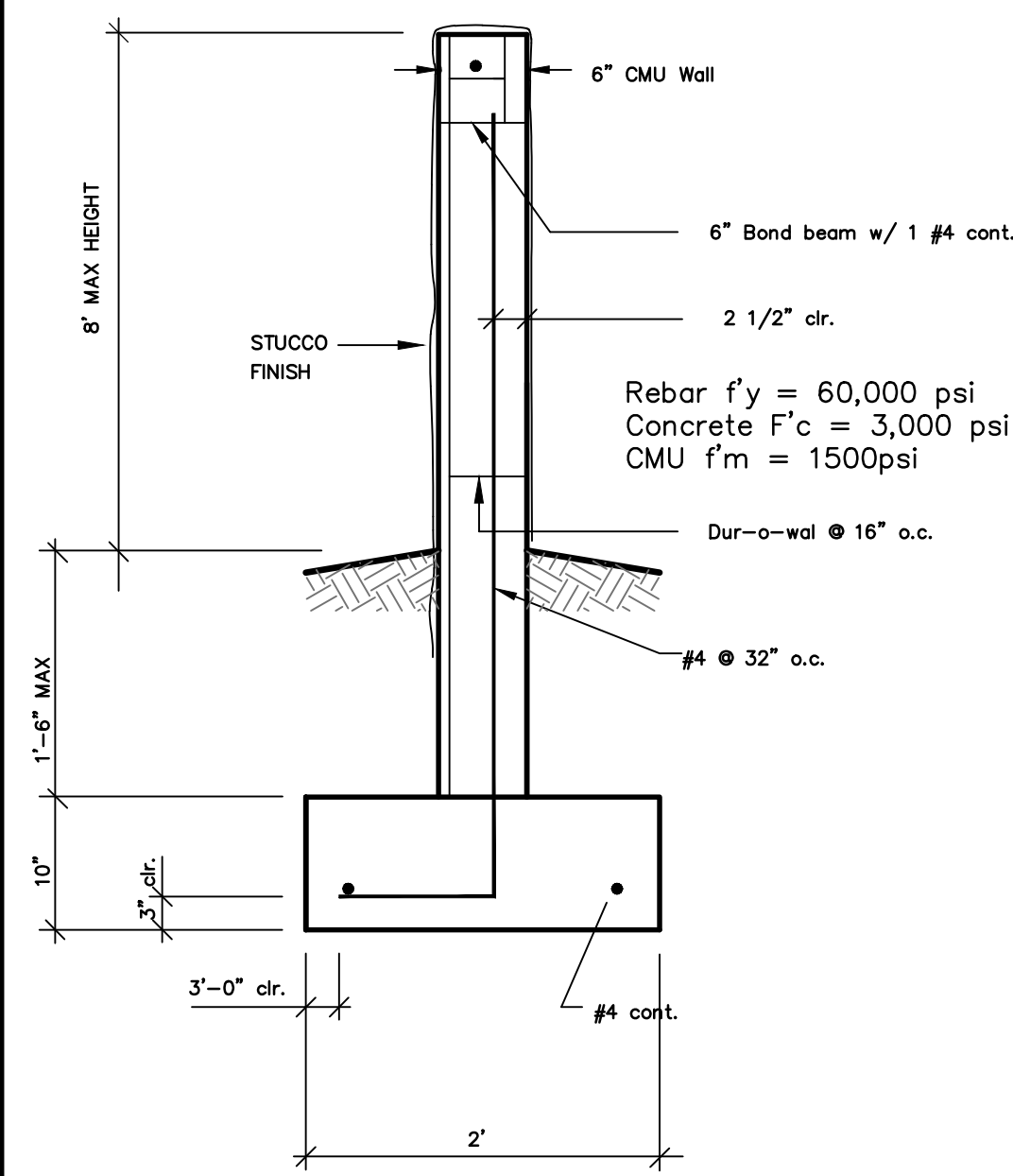
PROJECT: ANGELVIEW TOWNHOMES  
SALIDA, CO

SHEET TITLE: OVERALL WATER PLAN

CITY REVIEW	DATE
DESIGNER	
CHECKER	
APPROVER	
DEPARTMENT	
DESIGN	
TRAFFIC	
LANDSCAPE	
TRAILS/OPEN SPACE	
SUBDIVISION REVIEW	

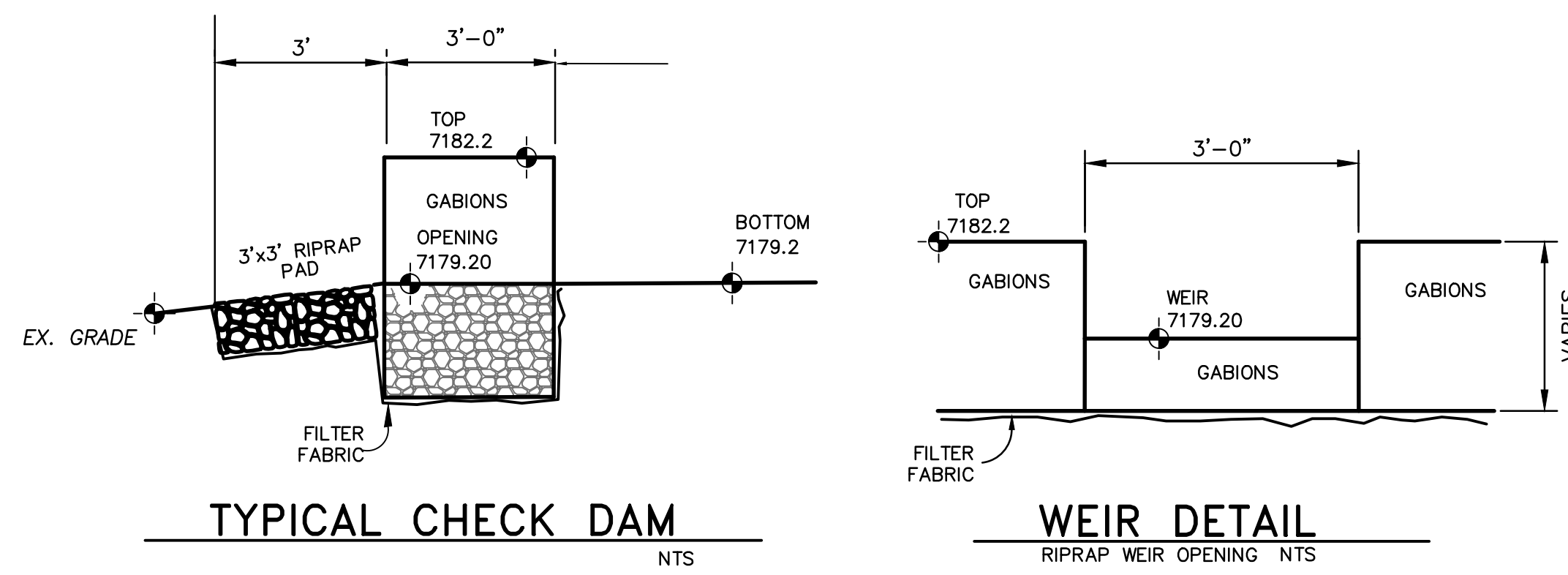
SHEET NO. **C9**





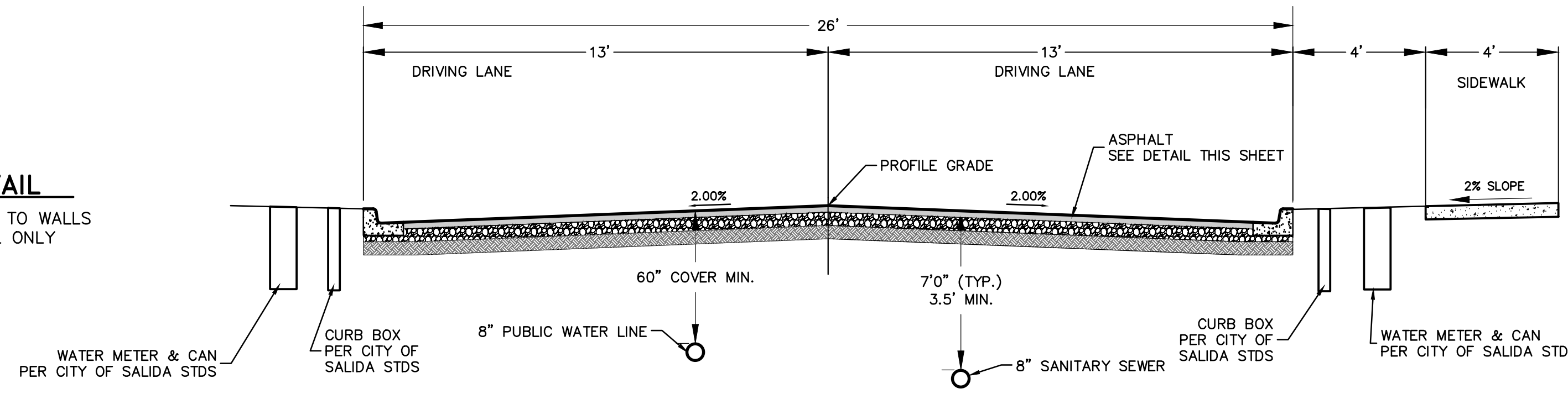
**SCREENING WALL DETAIL**

NOTE: THIS SCHEDULE DOES NOT APPLY TO WALLS WITH BACKFILL. SCREENING WALL ONLY



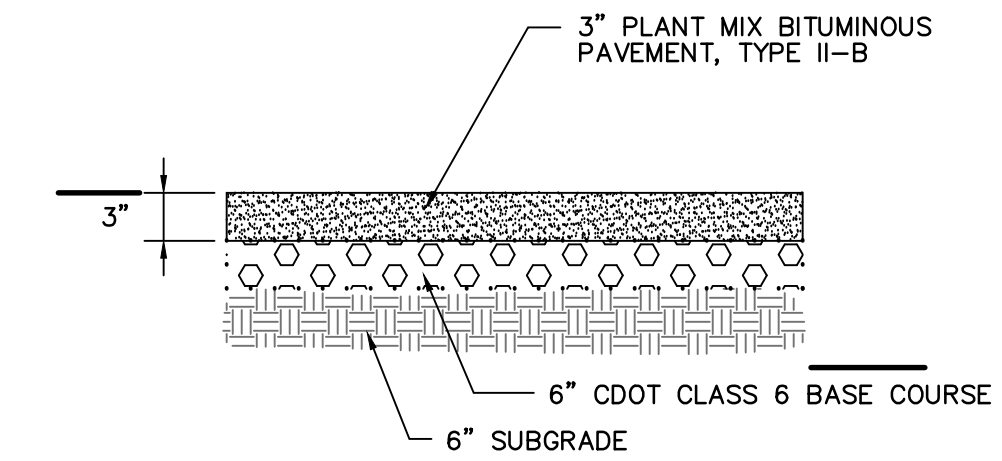
**TYPICAL CHECK DAM**

**WEIR DETAIL**



**TYPICAL ROAD SECTION**

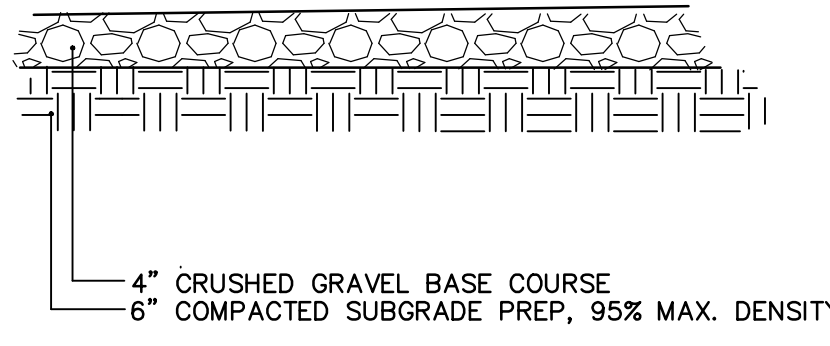
NOTE: ALL TRENCHING TO BE PER CITY OF SALIDA CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR WATER, SANITARY SEWER AND STREETS. SEE WATER MAINS AND SANITARY SEWERS.



**ASPHALT ROAD SECTION**

**NOTE**

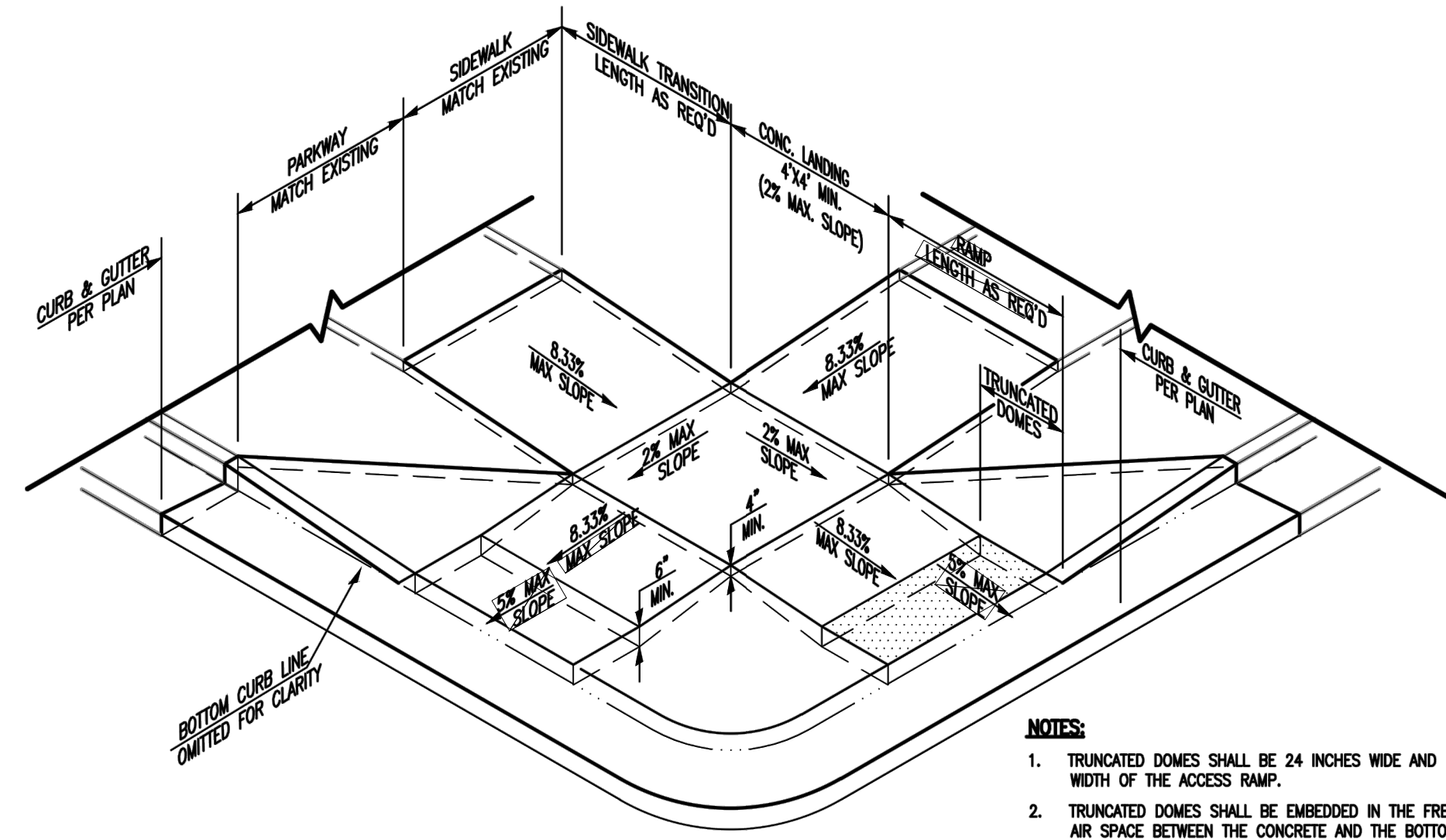
ASPHALT AND CONCRETE PAVEMENT SECTIONS TO BE IN ACCORDANCE WITH CITY OF SALIDA CONSTRUCTION STANDARDS AND SPECIFICATIONS SECTION 3.00 (H), MINIMUM STREET DESIGN AND ACCESS CRITERIA.



**ALLEY GRAVEL SECTION**

**UTILITY NOTES**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND SHOULD NOT RELY SOLELY ON THESE CONSTRUCTION PLANS FOR UTILITY LOCATIONS. CONTRACTOR MUST COMPLETE ALL UTILITY LOCATES PRIOR TO CONSTRUCTION. Utility Notification Center of Colorado (UNCC) 800-922-1987. DAMAGE TO ANY EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS ASSUMED THAT ALL GAS LINES ARE TO BE INSTALLED BY ATMOS GAS AND ALL ELECTRIC LINES BY EXCEL ENERGY. ALL TRENCHING AND INSTALLATION TO BE COMPLETED ACCORDING TO ATMOS AND EXCEL REQUIREMENTS. LOCATION OF ELECTRIC PRIMARY, SECONDARY LINES AND ALL TRANSFORMER PROVIDED BY EXCEL. ALL ELECTRIC AND GAS LINES ARE SHOWN HERE FOR REFERENCE ONLY.
- CABLE AND TELEPHONE TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL CABLE AND TELEPHONE PROVIDER. LOCATIONS ARE SHOWN FOR PLANNING PURPOSES ONLY.
- IF ANY OF THESE STANDARDS DIFFER FROM THE DESIGN IN THIS PLAN SET, CONTACT WALKER ENGINEERING AND LAND & WATER CONCEPTS FOR CLARIFICATION AND DIRECTION BEFORE CONTINUING.
- ALL WATER IMPROVEMENTS SHALL CONFORM TO THE CITY OF SALIDA CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR WATER, SANITARY SEWER AND STREET, LATEST EDITION, AS WELL AS THE STANDARDS PROMULGATED BY THE WATER QUALITY CONTROL DIVISION OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND BY THE UNI-BELL PVC PIPE ASSOCIATION. IF ANY OF THESE STANDARDS DIFFER FROM THE DESIGN IN THIS PLAN SET, CONTACT LAND AND WATER CONCEPTS FOR CLARIFICATION AND DIRECTION BEFORE CONTINUING.
- ALL UNDERGROUND WATERLINES SHALL BE PVC PRESSURE CLASS 235 AWWA C-900. ALL PVC WATER MAIN PIPE SHALL INCLUDE DETECTOR WIRE PER CSS.
- ALL UNDERGROUND WATERLINES PIPING SHALL MAINTAIN A MINIMUM 5' BURY AND HAVE THRUST BLOCKS AT ALL DIRECTION CHANGES AND DEAD ENDS. THRUST BLOCKS AND RODDING TO BE INSTALLED PER NFPA #24. THRUST BLOCK DIMENSIONS FOR A 8" WATER LINE SHALL BE APPLIED TO THE PROJECT WATER MAINS. SEE DETAILS.
- ALL NEW WATER VALVES AND METERS THAT FALL WITHIN THE LIMITS OF ANY PAVED ROADWAY OR SIDEWALK SHALL HAVE A CONCRETE COLLAR AND CAST IRON COVER PER CITY OF SALIDA STANDARDS AND SPECIFICATIONS.
- ALL WATER LINES SHALL BE DISINFECTED, PRESSURE TESTED, FLUSHED AND TESTED FOR BACTERIOLOGICAL CONTAMINATION PER CSS SECTION 8.00 (I, J, & K). ALL SUPER-CHLORINATED FLUSH WATER SHALL BE DECHLORINATED PRIOR TO DISCHARGE TO PREVENT ENVIRONMENTAL DAMAGE AND FISH KILL IN THE SOUTH ARKANSAS AND ARKANSAS RIVER.
- ALL WATER AND SEWER LINES TO MAINTAIN 10' HORIZONTAL AND 18" VERTICAL SEPARATION. WHERE THIS SEPARATION CAN NOT BE MAINTAINED OR WHEN THE WATER LINE PASSES UNDER THE SANITARY SEWER LINE, THE SEWERLINE SHALL BE ENCASED IN CONCRETE. CONCRETE FOR SEWER PIPE ENCASEMENTS SHALL HAVE A MINIMUM CEMENT CONTENT OF FIVE (5) SACKS PER CUBIC YARD AND A MAXIMUM WATER CONTENT OF FIVE (5) GALLONS PER SACK OF CEMENT AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI IN TWENTY-EIGHT (28) DAYS. MINIMUM REINFORCING FOR CONCRETE ENCASEMENTS SHALL BE 4 EACH #4 BARS, CONTINUOUS FOR THE LENGTH OF THE CASING. SEE THE CITY OF SALIDA CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR WATER, SANITARY SEWER AND STREET, LATEST EDITION.
- THE SANITARY SEWER AND WATER LINES SHALL BE INSTALLED WITH SPECIFIED MATERIALS FOR BACKFILL AND BEDDING REQUIREMENTS. REFER TO CSS SECTION 5.00 AND 6.00.
- THE CONTRACTOR SHALL COMPLETE AN AS-BUILT SURVEY AND DRAWINGS TO BE SUBMITTED TO THE CITY OF SALIDA.



**ADA CURB RAMP - TYPE 1**

- NOTES:**
- TRUNCATED DOMES SHALL BE 24 INCHES WIDE AND EXTEND THE FULL WIDTH OF THE ACCESS RAMP.
  - TRUNCATED DOMES SHALL BE EMBEDDED IN THE FRESH CONCRETE WITH NO AIR SPACE BETWEEN THE CONCRETE AND THE BOTTOM OF THE PLATE.
  - TRUNCATED DOMES SHALL BE CONSTRUCTED OF UNPAINTED CAST IRON CONFORMING TO ASTM A-48 CLASS 30B.

**GENERAL NOTES**

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND PROJECT DRAWINGS APPLICABLE TO THE PROJECT AND SHALL CONFORM TO THE CITY OF SALIDA'S ROAD AND SIDEWALK STANDARDS, SECTION 9-11-2 OF THE LAND USE CODE AND THESE CONSTRUCTION STANDARDS. THE MOST CURRENT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE COLORADO DEPARTMENT OF TRANSPORTATION SHALL GOVERN ALL WORK NOT COVERED BY APPROVED PROJECT SPECIFICATIONS AND DRAWINGS.
- UNLESS OTHERWISE SPECIFIED, SUBGRADE AND BASE UNDER ALL ASPHALT AND CONCRETE WILL CONFORM TO THE FOLLOWING:
  - SUBGRADE: PREPARE AND COMPACT TO ACHIEVE A MINIMUM OF 95% MODIFIED PROCTOR DENSITY IN ACCORDANCE WITH AASHTO T-180 WITHIN 2%± OF THE OPTIMUM MOISTURE CONTENT.
  - AGGREGATE ROAD BASE: MATERIAL SHALL BE CLASS 6 MEETING THE REQUIREMENTS OF CDOT SECTION 703.3.
  - CLASS 6 AGGREGATE BASE SHALL BE PLACED IN MAXIMUM 6 INCH LIFTS AND SHALL BE COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY IN ACCORDANCE WITH AASHTO T-180 WITH ±2% OF THE OPTIMUM MOISTURE CONTENT.
- ALL CONCRETE SHALL BE 4000 PSI AND SHALL MEET THE FOLLOWING REQUIREMENTS:
  - CONTRACTOR SHALL SUBMIT FOR REVIEW THE PROPOSED MIX DESIGN.
  - AN APPROVED CURING COMPOUND SHALL BE USED ON ALL FLAT WORK.
  - MAXIMUM SPACING OF CONTRACTION JOINTS IN CURB AND GUTTER SHALL BE 10 FEET.
  - SIDEWALKS, DRIVE APRONS, AND HANDICAP RAMPS - CONTRACTION JOINTS SHALL PROVIDE PANELS AS NEARLY SQUARE AS PRACTICAL. IN RECTANGULAR PANELS, THE LONG SIDE SHALL BE NO LONGER THAN 1½ TIMES AS LONG AS THE SHORT SIDE.
  - ALL SIDEWALK CONTRACTION JOINTS SHALL BE TOOLED UNLESS SAW CUT OR STRIP LOCK IS APPROVED. THE GROOVE OF CONTRACTION JOINTS SHALL BE ONE-FOURTH ON THE SLAB THICKNESS. THE RADIUS AT THE TOP OF THE GROOVE SHALL BE AS SMALL AS POSSIBLE.
  - CONTRACTION JOINTS SHALL BE PROVIDED AT "RE-ENTRANT" CORNERS. CONTRACTION JOINTS SHALL BE USED FOR FIXED OBJECTS ISOLATED WITHIN AN INDIVIDUAL SECTION. TWO JOINTS SHALL RADIATE FROM THE OBJECT AND SHALL BE PERPENDICULAR TO THE JOINTS OF THE INDIVIDUAL SECTION.
  - EXPANSION JOINTS SHALL BE INSTALLED IN SIDEWALKS AT APPROXIMATELY 100' INTERVALS.
  - EXPANSION JOINTS SHALL BE INSTALLED WHEN ABUTTING CONCRETE OR A FIXED STRUCTURE UNLESS SHOWN OTHERWISE IN THE APPROVED PROJECT DRAWINGS.
  - EXPANSION JOINT MATERIAL SHALL BE ½" THICK AND SHALL EXTEND THE FULL DEPTH OF THE CONTACT SURFACE.
- ALL ASPHALT WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH NOTE 1 ABOVE. NO WORK SHALL BE STARTED ON THE PROJECT UNTIL THE CONTRACTOR HAS SUBMITTED FOR REVIEW A SATISFACTORY JOB MIX FORMULA BASED UPON TESTS OF THE MATERIALS TO BE FURNISHED.
- THE OWNER MAY PROVIDE SOME TESTING FOR THEIR OWN BENEFIT. CONTRACTOR SHALL NOTIFY OWNER SUFFICIENTLY IN ADVANCE OF OPERATIONS AND SHALL PROVIDE ACCESS TO THE WORK TO BE TESTED. IF TESTS FAIL OR MEET THE SPECIFIED REQUIREMENTS, THE CONTRACTOR SHALL PROMPTLY REMEDY SUCH DEFICIENCIES, AND SHALL BE RESPONSIBLE TO THE OWNER FOR THE COSTS OF ANY RE-TESTING DEEMED NECESSARY TO VERIFY CORRECTION OF THE DEFICIENCY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK BY CONTACTING UNCC (1-800-922-1987) AND UTILITY OWNERS.

**GENERAL NOTES**

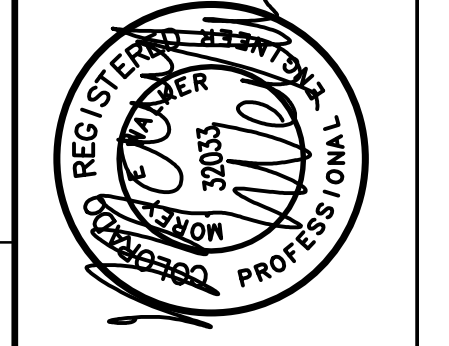
CITY OF SALIDA PUBLIC WORKS DEPARTMENT

SCALE: NOT TO SCALE FILE: DWG: GN-01 LATEST REVISION: 5/28/2013

Civil Engineering • Water Resources • Traffic Engineering  
**W.E Walker Engineering**  
 905 Camino Sierra Vista, Santa Fe, NM 87501  
 505-820-7990  
 FAX 505-820-8539  
 E-MAIL: civil@walkerengineering.net

No.	REVISION	BY	APP.	DATE

PROJECT: 16-125 DESIGNED BY: P.L.B.  
 FILE: 125 DETAILS DRAWN BY: P.L.B.  
 DATE: 5/25/17 CHECKED BY: M.E.W.  
 SCALE: AS NOTED

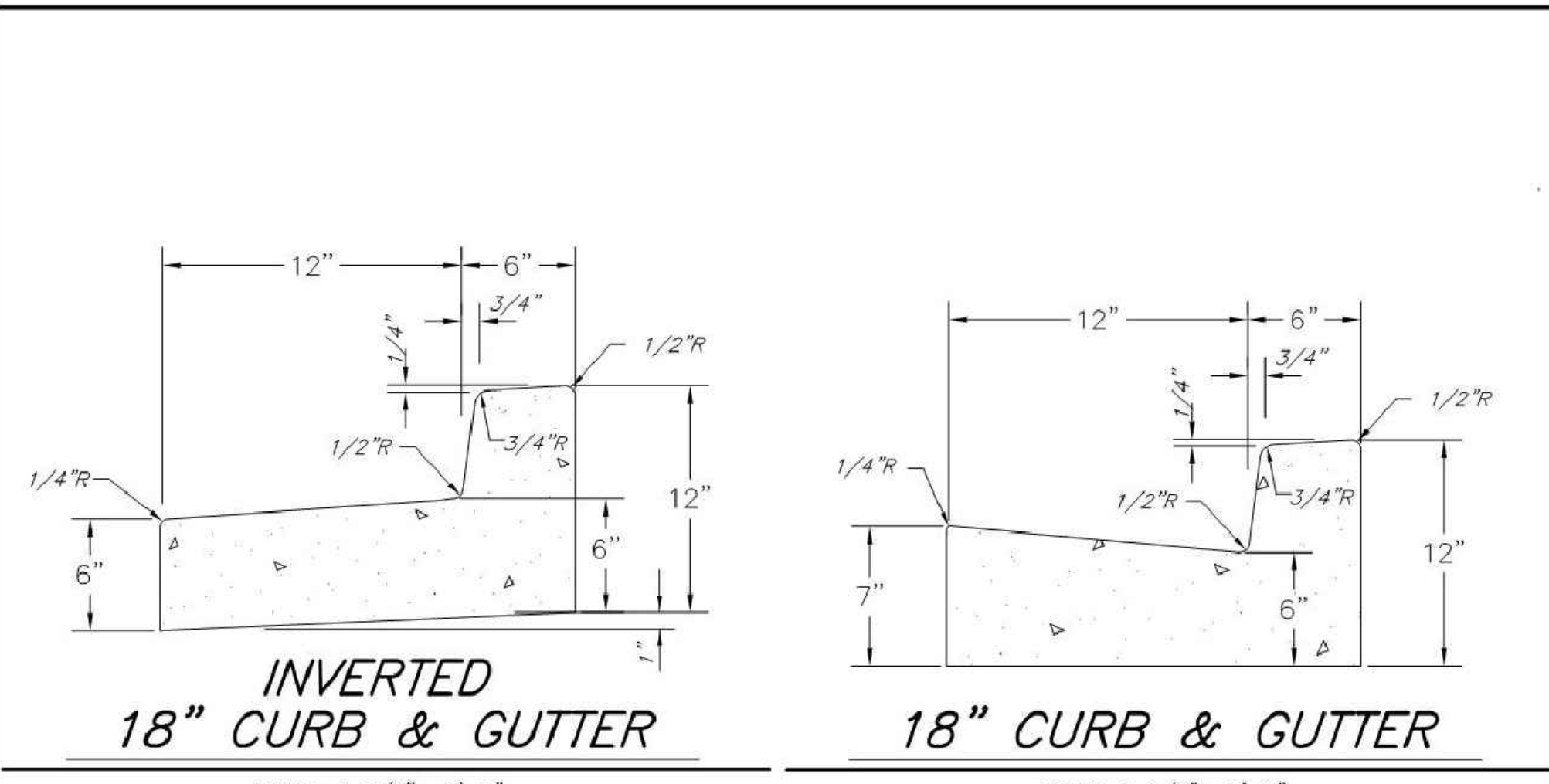


PROJECT: ANGELVIEW TOWNHOMES  
 SALIDA, CO  
 SHEET TITLE: DETAILS

CITY REVIEW	DATE
DESIGN	
CONSTRUCTION	
DEPARTMENT	
DATE	
DESIGN	
CONSTRUCTION	
DEPARTMENT	
DATE	
DESIGN	
CONSTRUCTION	
DEPARTMENT	
DATE	

SHEET NO. **C10**

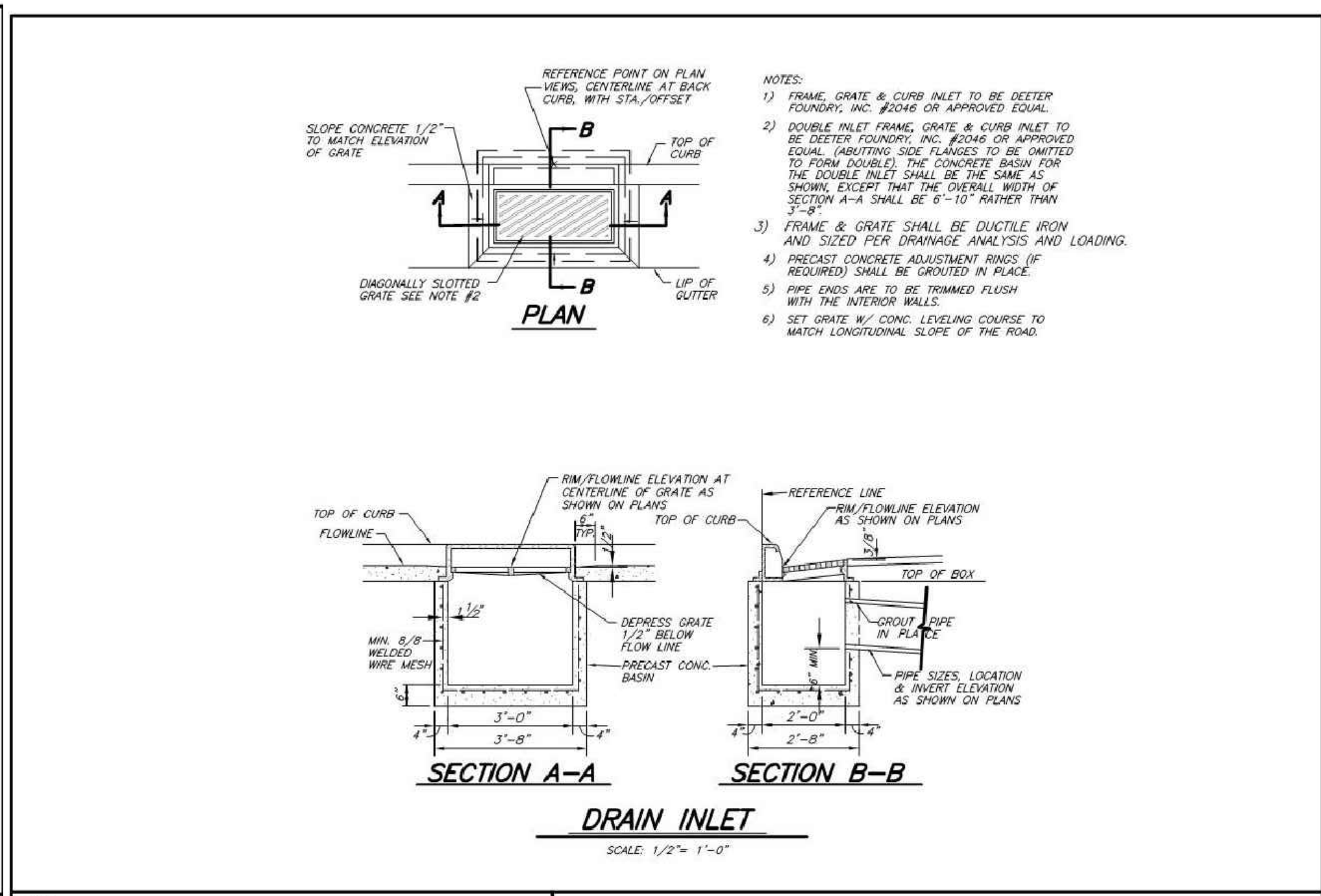




**INVERTED 18" CURB & GUTTER**  
SCALE: 1 1/2" = 1'-0"

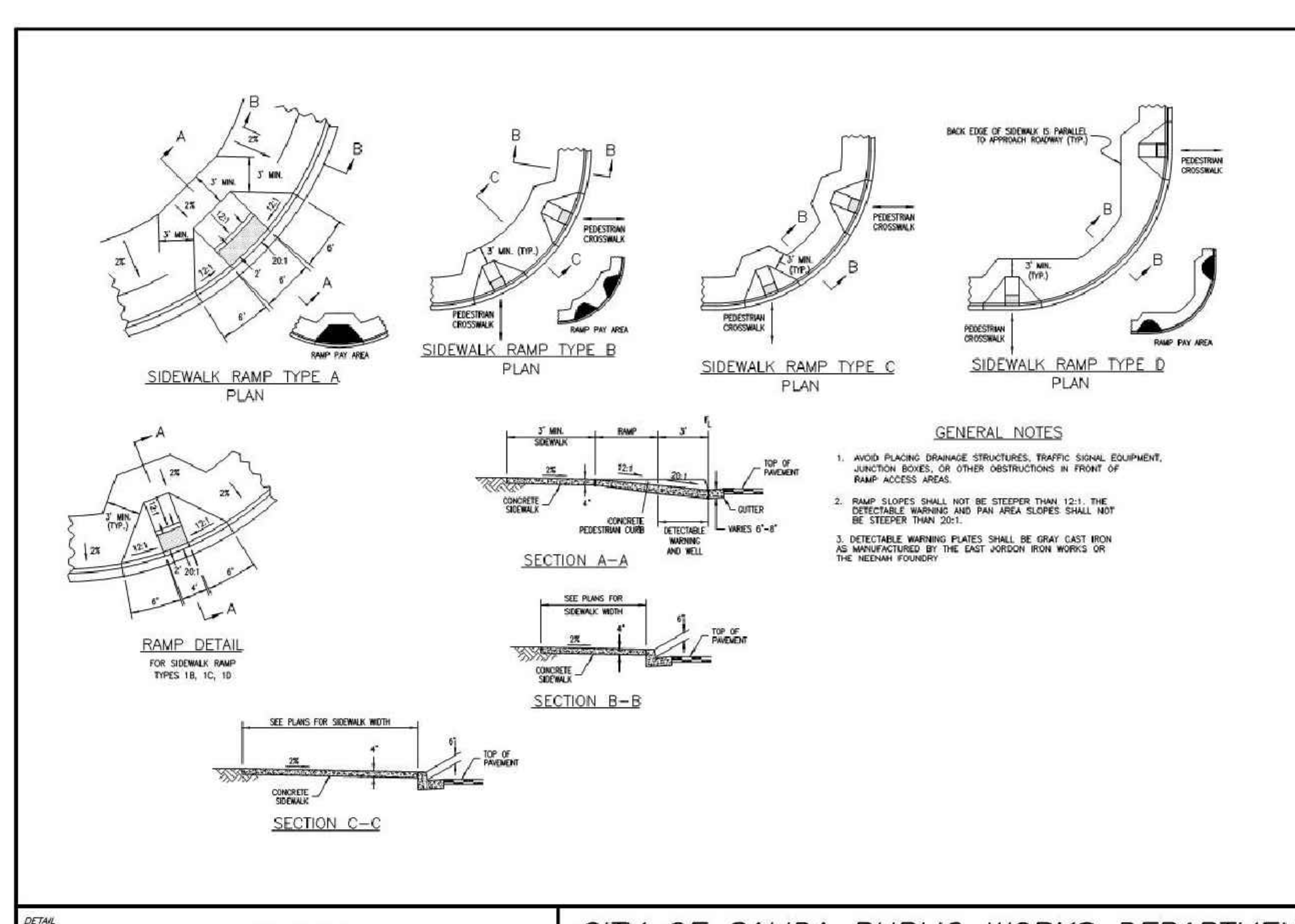
NOTE:  
USE ONLY WITH WRITTEN  
PUBLIC WORKS APPROVAL

DETAIL	<b>18" CURB AND GUTTER DETAILS</b>	CITY OF SALIDA PUBLIC WORKS DEPARTMENT
SCALE	NOT TO SCALE	FILE DWG: C-02A
DATE		DATE 6/19/2009



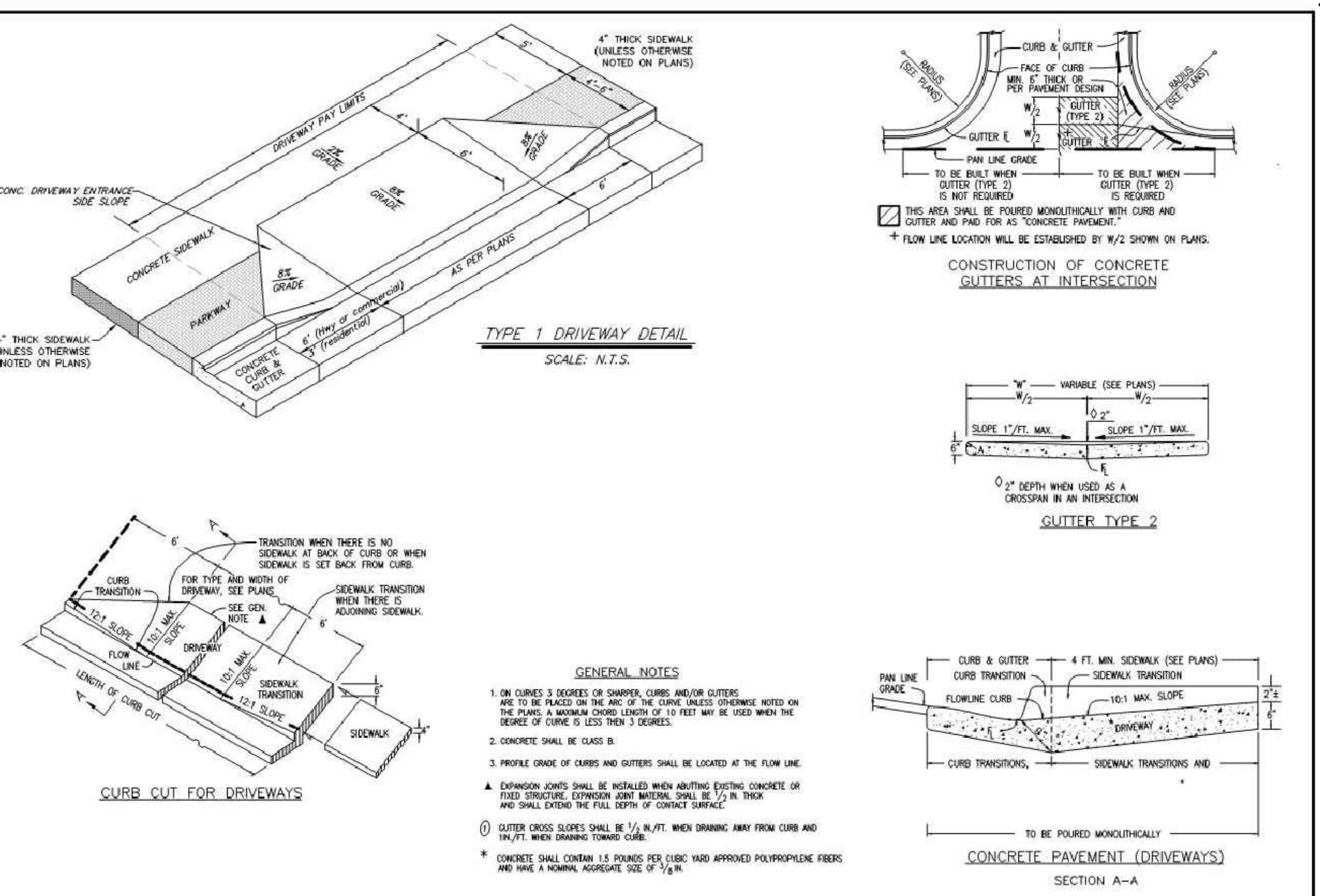
**DRAIN INLET**  
SCALE: 1/2" = 1'-0"

DETAIL	<b>CURB INLET</b>	CITY OF SALIDA PUBLIC WORKS DEPARTMENT
SCALE	NOT TO SCALE	FILE DWG: SD-03
DATE		DATE 6/19/2009



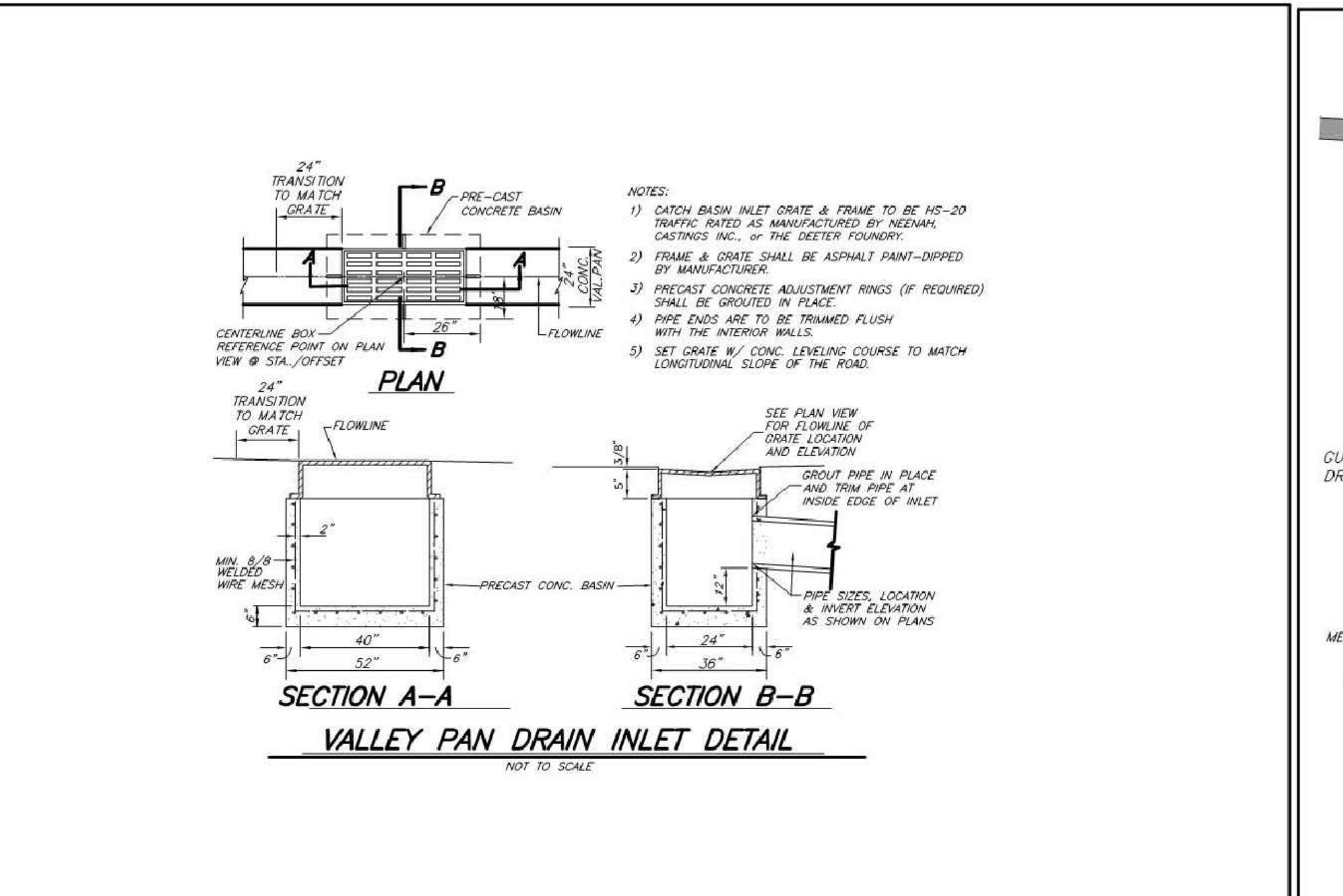
**CURB RAMPS**  
SCALE: NOT TO SCALE

DETAIL	<b>CURB RAMPS</b>	CITY OF SALIDA PUBLIC WORKS DEPARTMENT
SCALE	NOT TO SCALE	FILE DWG: C-06
DATE		DATE 5/28/2013



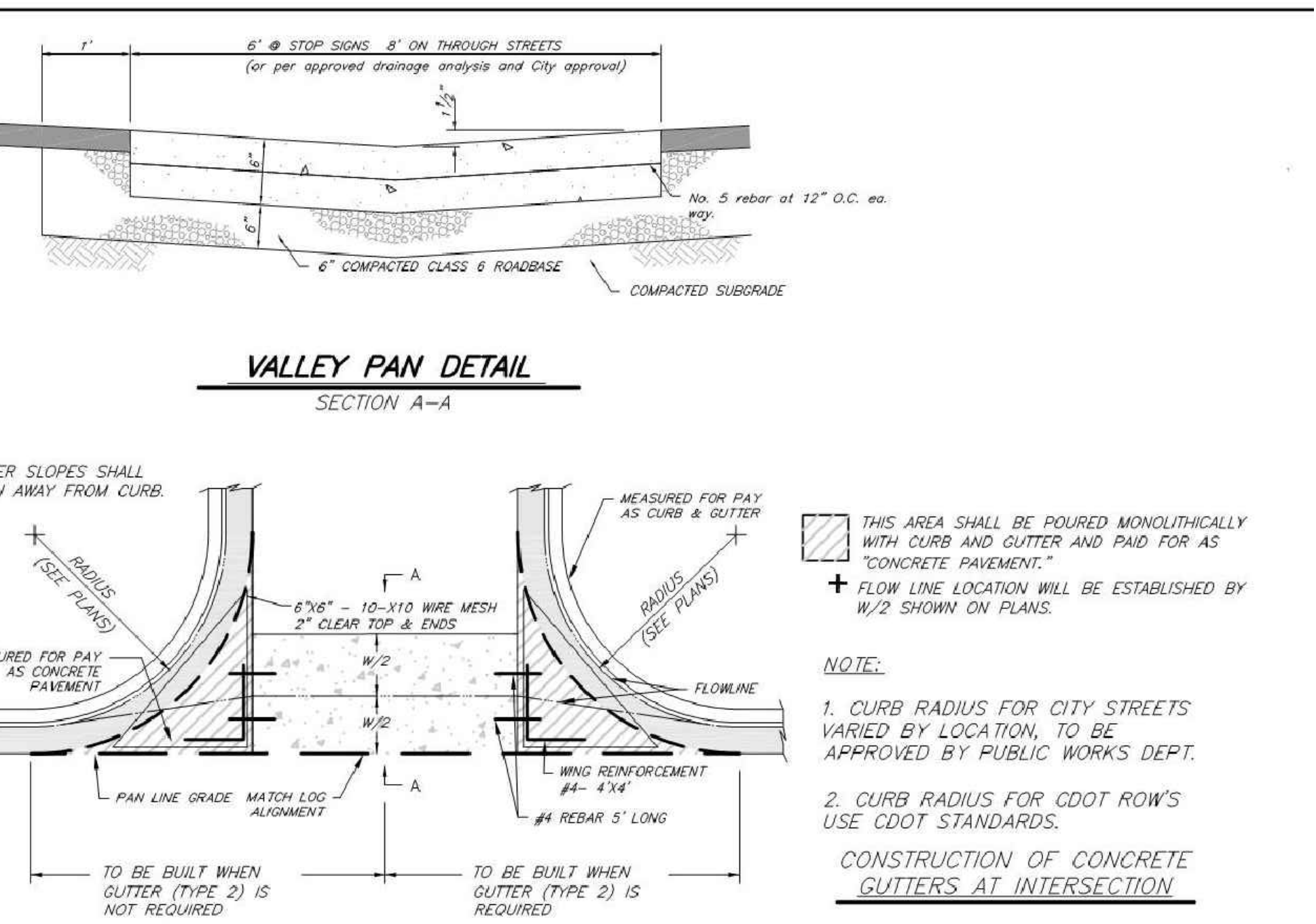
**TYPICAL DRIVEWAY DETAILS**  
SCALE: NOT TO SCALE

DETAIL	<b>TYPICAL DRIVEWAY DETAILS</b>	CITY OF SALIDA PUBLIC WORKS DEPARTMENT
SCALE	NOT TO SCALE	FILE DWG: C-03
DATE		DATE 5/28/2013



**VALLEY PAN INLET**  
SCALE: NOT TO SCALE

DETAIL	<b>VALLEY PAN INLET</b>	CITY OF SALIDA PUBLIC WORKS DEPARTMENT
SCALE	NOT TO SCALE	FILE DWG: SD-04
DATE		DATE 6/19/2009



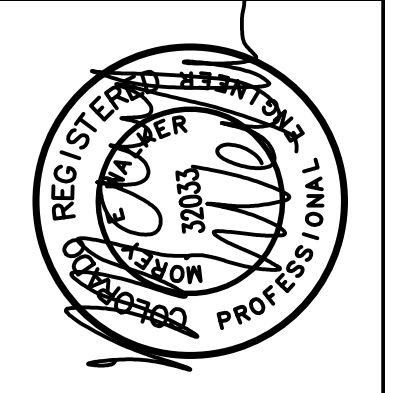
**VALLEY PAN AT INTERSECTION**  
SCALE: NOT TO SCALE

DETAIL	<b>VALLEY PAN AT INTERSECTION</b>	CITY OF SALIDA PUBLIC WORKS DEPARTMENT
SCALE	NOT TO SCALE	FILE DWG: C-04
DATE		DATE 6/19/2009

**Walker Engineering**  
Civil Engineering • Water Resources • Traffic Engineering

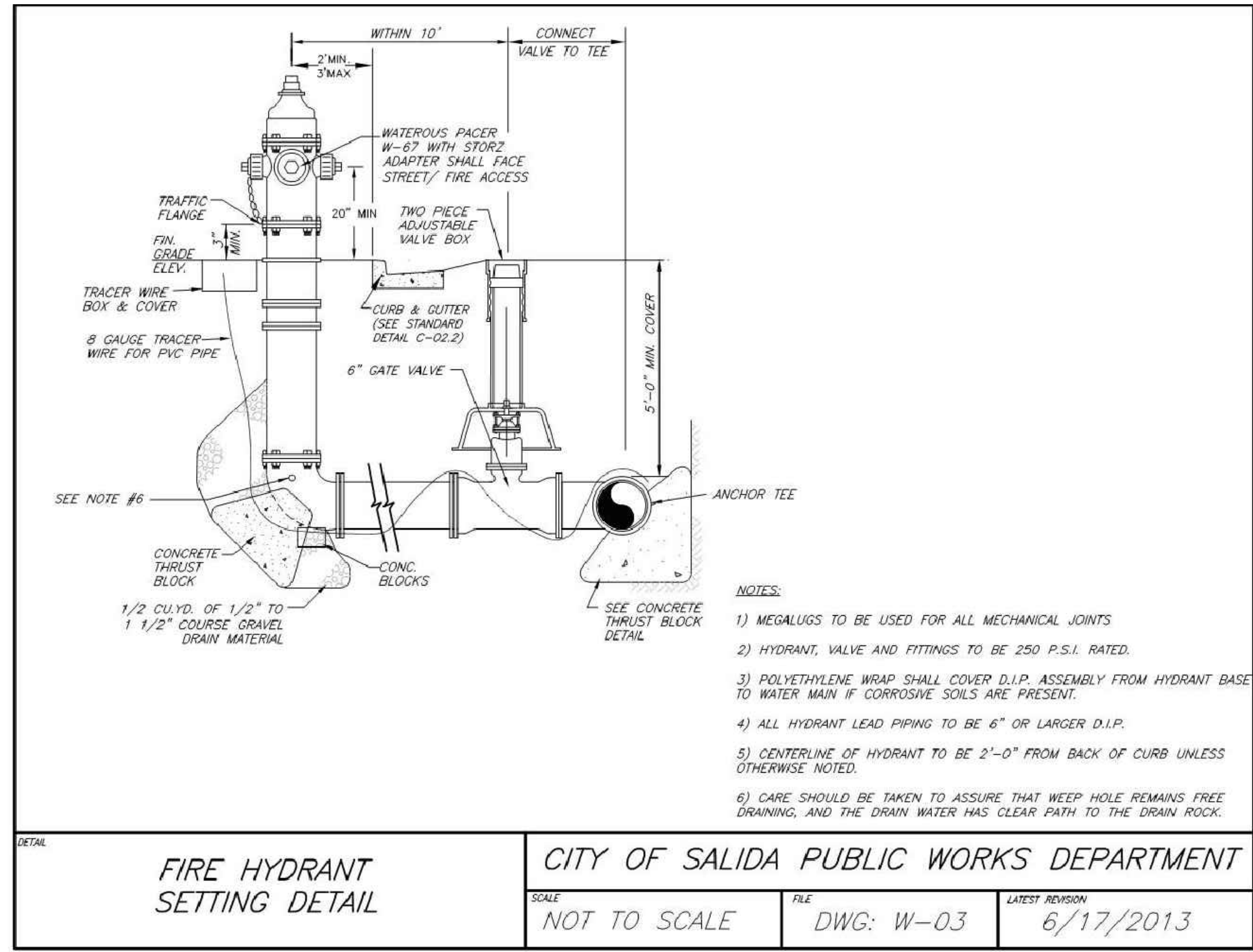
905 Camino Sierra Vista, Santa Fe, NM 87501  
505-820-7990  
FAX 505-820-8539  
E-MAIL: civil@walkerengineering.net

PROJECT:	16-125	DESIGNED BY:	P.L.B.
FILE:	125 DETAILS	DRAWN BY:	P.L.B.
DATE:	5/25/17	CHECKED BY:	M.E.W.
SCALE:			AS NOTED

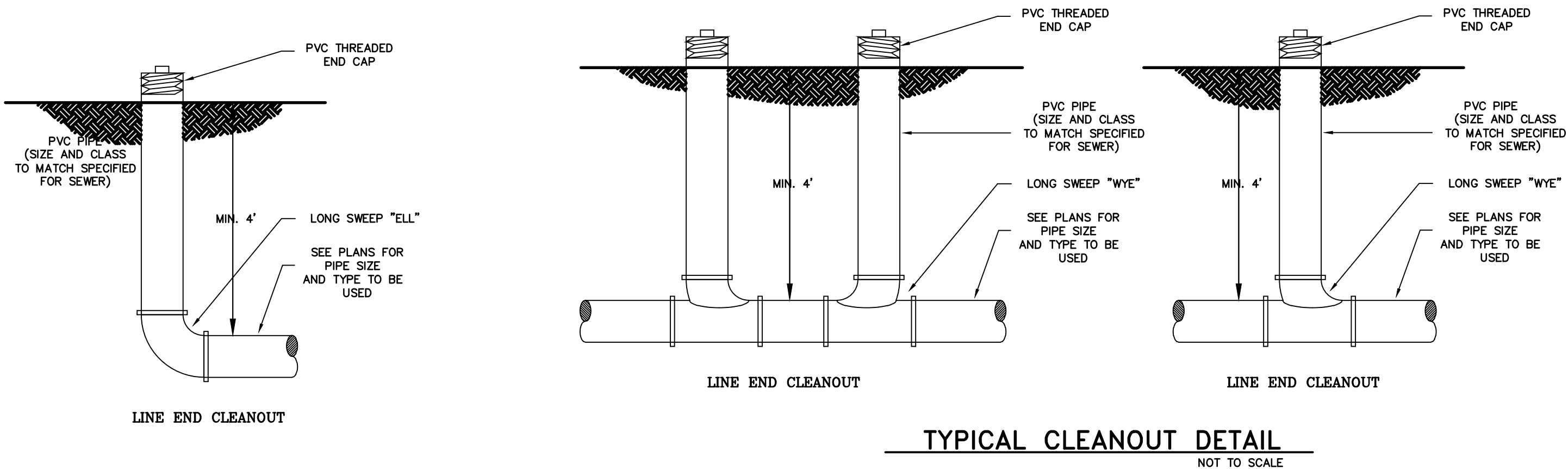


PROJECT:	<b>ANGELVIEW TOWNHOMES SALIDA, CO</b>
SHEET TITLE:	<b>DETAILS</b>
CITY REVIEW	
DEPARTMENT	
DATE	
SIGN-OFF	
DEPARTMENT	WATER
WATER	WATER
PW ENGINEERING	TRAFFIC
TRAFFIC	FIRE DEPARTMENT
FIRE DEPARTMENT	SOLID WASTE
SOLID WASTE	LANDSCAPE
LANDSCAPE	TRAILS/OPEN SPACE
TRAILS/OPEN SPACE	SUBDIVISION REVIEW
SUBDIVISION REVIEW	

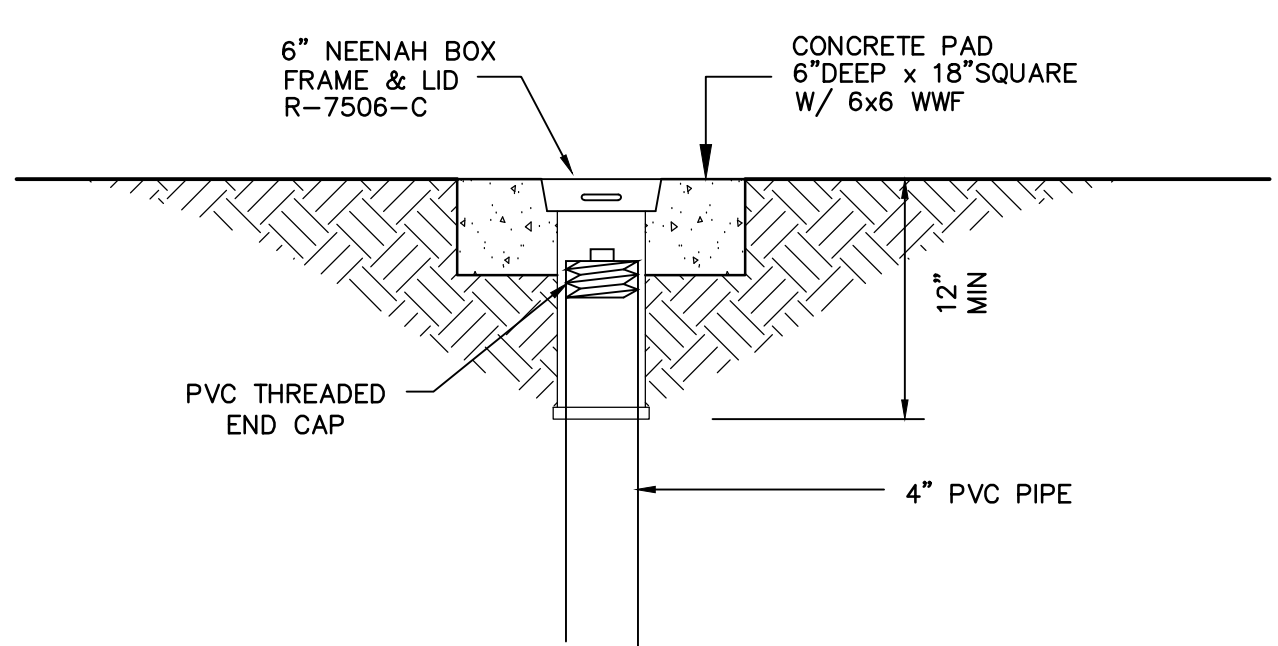




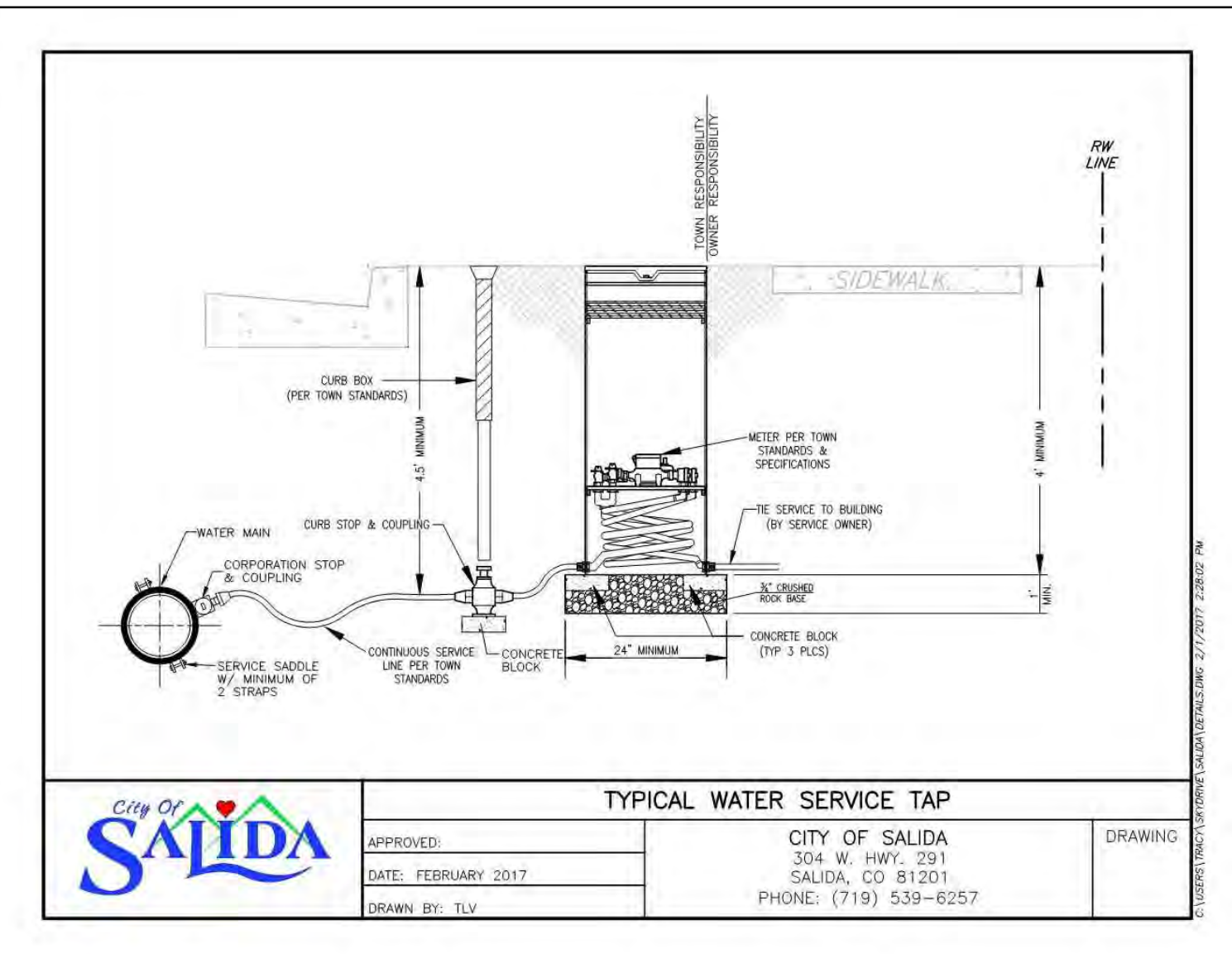
**CITY OF SALIDA PUBLIC WORKS DEPARTMENT**  
 SCALE: NOT TO SCALE  
 FILE: DWG: W-03  
 LATEST REVISION: 6/17/2013



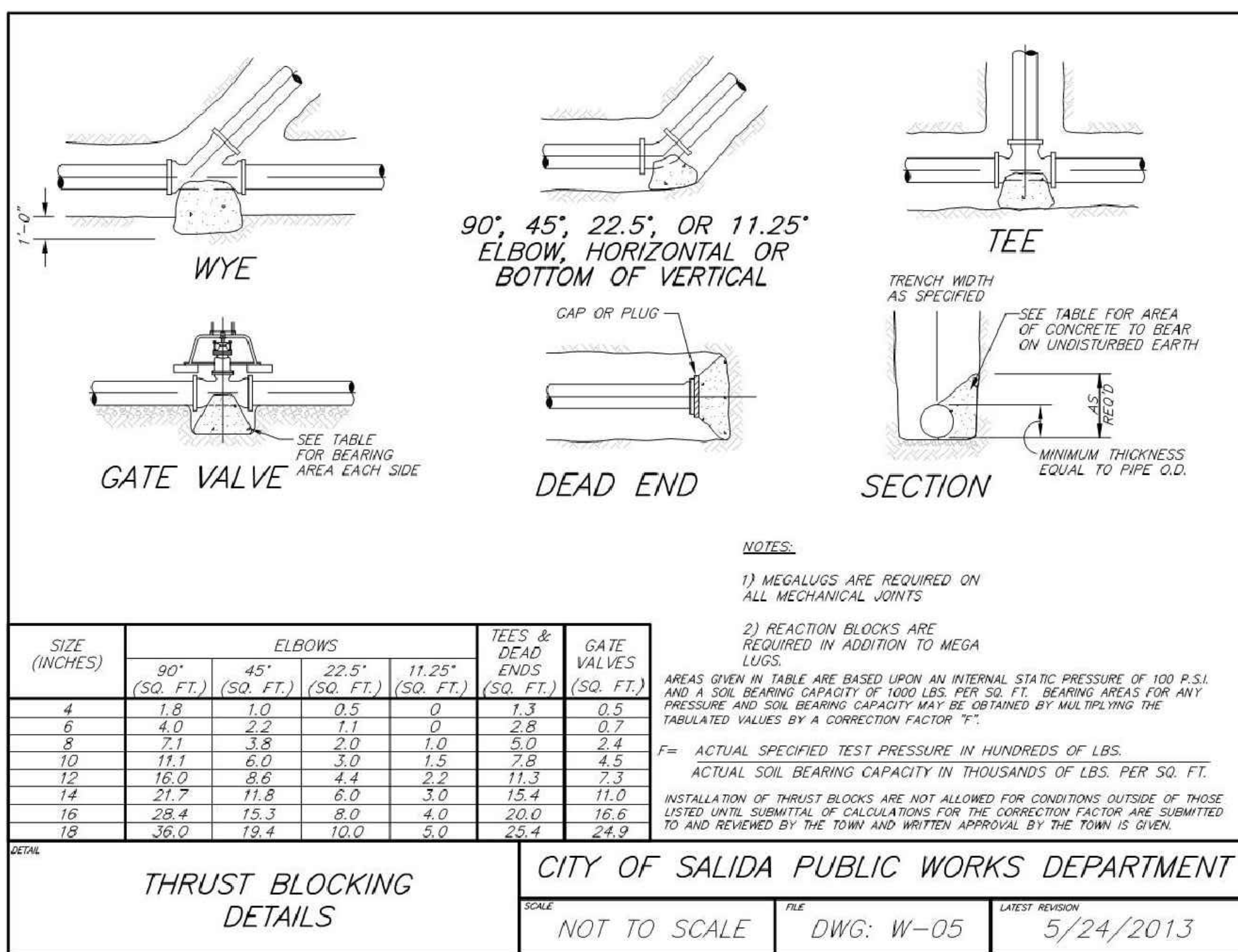
**TYPICAL CLEANOUT DETAIL**  
NOT TO SCALE



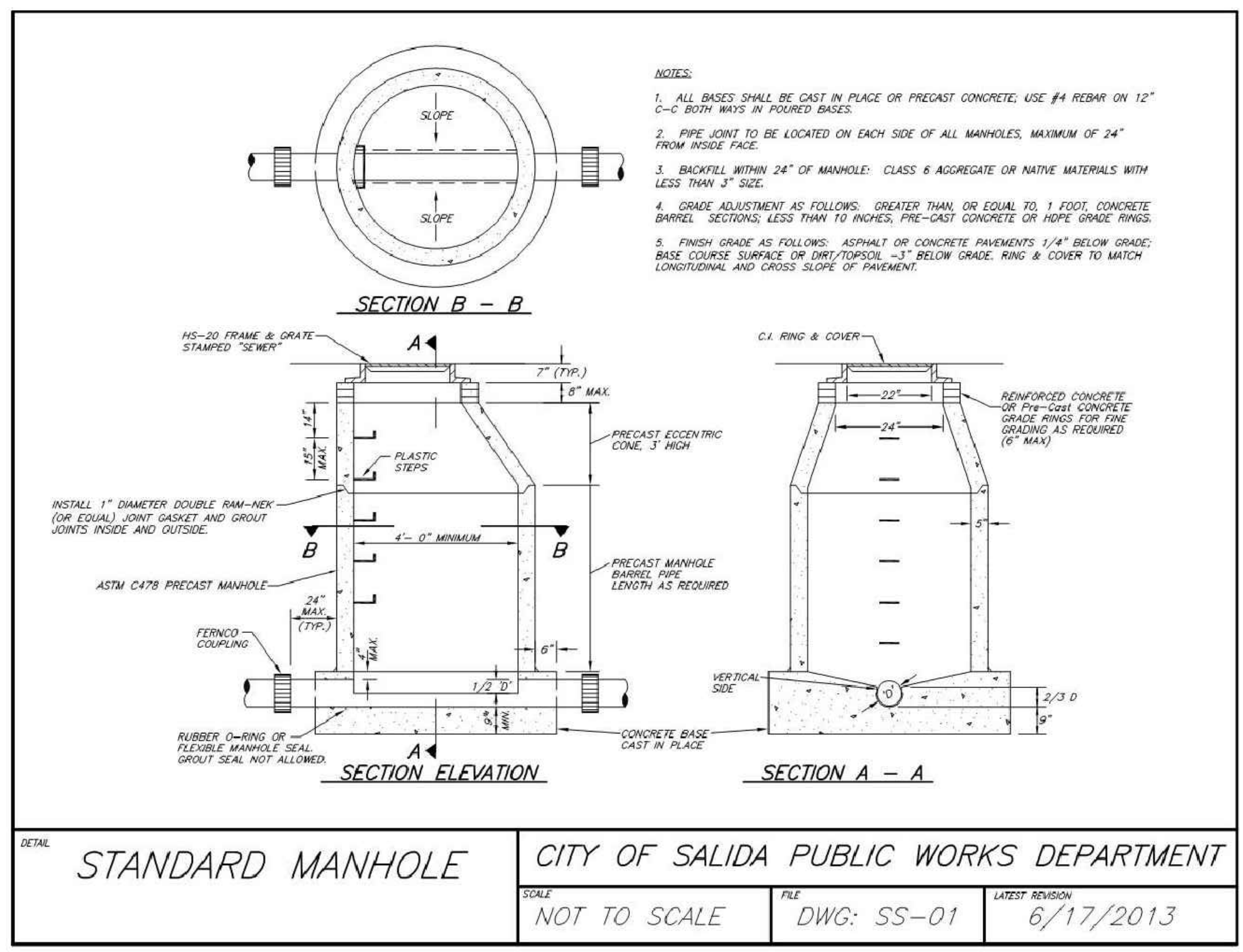
**CLEANOUT IN PAVING**  
NOT TO SCALE



**CITY OF SALIDA**  
 APPROVED: [Signature]  
 DATE: FEBRUARY 2017  
 DRAWN BY: TLV  
**CITY OF SALIDA**  
 304 W. HWY. 291  
 SALIDA, CO 81301  
 PHONE: (719) 539-6257



**CITY OF SALIDA PUBLIC WORKS DEPARTMENT**  
 SCALE: NOT TO SCALE  
 FILE: DWG: W-05  
 LATEST REVISION: 5/24/2013

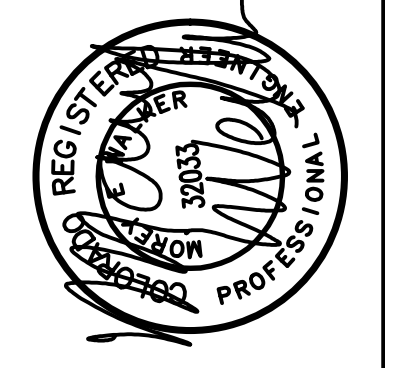


**CITY OF SALIDA PUBLIC WORKS DEPARTMENT**  
 SCALE: NOT TO SCALE  
 FILE: DWG: SS-01  
 LATEST REVISION: 6/17/2013

**Civil Engineering • Water Resources • Traffic Engineering**  
**W.E Walker Engineering**  
 905 Camino Sierra Vista, Santa Fe, NM 87501  
 505-820-7990  
 FAX 505-820-8539  
 E-MAIL: civil@walkerengineering.net

No.	REVISION	BY	APP.	DATE

PROJECT: 16-125  
 FILE: 125  
 DATE: 5/25/2017  
 DESIGNED BY: P.L.B.  
 DRAWN BY: P.L.B.  
 CHECKED BY: M.E.W.  
 SCALE: AS NOTED



**PROJECT: ANGELVIEW TOWNHOMES SALIDA, CO**  
**SHEET TITLE: DETAILS**

CITY REVIEW	DATE
DEPARTMENT	
WATER	
SEWER	
TRAFFIC	
FIRE DEPARTMENT	
SOLID WASTE	
LANDSCAPE	
TRAILS/OPEN SPACE	
SUBDIVISION REVIEW	

SHEET NO.

**C12**



## Angelview Townhomes PD Narrative 12/21/2017

It is the goal of this Planned Development to create Townhomes in an urban density which can then be readily financed by local residents earning from 80% to 120% AMI. The deed-restricted units will be available to one Public Sector or HRRMC employee and one resident meeting the income and qualification criteria for each phase (two total each phase, 8 total for all 4 phases).

Deviations from Dimensional Standards as depicted on our Master Plat:

- Average lot size below the R-3 minimum of 2400sf is 2210sf (48 lots)
- Average lot size above the R-3 Minimum of 2400sf is 3436sf (24 lots)
- Alleys are 20'
- Sidewalks are 4'
- Parking at roadway is 8x19'
- Total width of roadway w/parking is 32' for all roads except north portion of Dezi Drive to intersection which is 20' without street parking.
- Front setback 5' on 1001 Dezi Drive, Units A-E, All others remain 10'.
- Parking for one bedroom units (to be built in future phases) to be 1 park per 1 bed unit for the first 9 units. 1.5 parks for 10<sup>th</sup> unit and beyond for each phase.

We have also shown these deviations from Dimensional Standards in a Table on the Master Plat.

The purpose of this Development Plan is to gain approval for these deviations in order to achieve Townhouse designation and to approve the split of Lot 3 into 3A and 3B as shown and approve these terms for all four phases of the Angelview Townhouse development.

Townhouse designation makes the finished properties more financeable for Chaffee County residents and the workforce population in general. Lending restrictions on condominiums make the purchase out of reach of most working Chaffee County residents. As a townhouse, many of our workforce will be able to purchase with a lower down payment and a lower interest rate and with less credit hurdles.

Please see attached letter from Chaffee County's largest local lender addressing this matter.

Common areas are all roads and alleys. They will be maintained by the HOA through collection of dues. Architectural control will also be provided by the HOA. The HOA will also maintain all alleys and landscaping in front of homes and in roadside landscape and signage easements and road ROW. HOA budget attached. Owners of deed-restricted units will not be charged HOA dues in order to lower their overall monthly expenses and enhance their buying power.



No specific traffic study was completed as density conforms with underlying zoning (R-3). Angelview master development shows Shepard Road eventually completed between County Roads 120 and 140 which will further ease traffic in the area. A loop south of CR 140 is created with the completion of Phase IV on Lot 3B which also eases traffic.

This development is to be served by public water and sewer for each phase. Detailed engineering for utilities will be provided for review and approval for each phase.

All other uses as allowed in the R-3 district shall remain in effect and not be otherwise changed or excluded by this PD.

SD-1 Shows typical lot layout for each phase though final designs and layout for each phase will be submitted for approval at time each phase is developed. Architectural design will vary in each phase to accommodate market conditions and create variety between phases. Also attached sketch drawings of current typical architecture though this is subject to change as market conditions dictate.

We wish for one unit per building (4 buildings in Phase I = 4 units per phase) to be allowed for short-term rental use by application with the City as currently practiced.

For these relaxed standards, we will provide 2 units from this 18 unit phase as specifically designated workforce housing units with the standards and restrictions as set forth in the attached pages. By completion of the 3<sup>rd</sup> phase we will achieve no less than 12% of all units as Workforce Housing qualifying at or below 100% AMI. These units will be set aside with each phase and restrictions recorded with each unit as they are built. We require that the City of Salida appoint Chaffee Housing Trust (or another organization meeting your criteria) to manage administration of these units.

Deed restricted units will favor city and county employees as well as general workforce such as police, fire, EMS, hospital, school district and all other public-funded workers. A comprehensive plan to address priority, selection, conveyances and further define terms is being worked out with City Staff. We have included a proposed systems subject to change based on these discussions.

Sincerely,

---

John Diesslin

---

Walt Harder



Angelview Townhomes – Workforce Housing Terms and Conditions  
Accompanied by Exhibit A – Sale Example/Guideline

November 2017

1. Deed Restriction Terms:

A. Two units per 18 unit phase (4 phases total, 1, 2, 3a, 3b) shall be dedicated as Workforce Housing subject to the following conditions:

- a. Initial sale price for Phase I, two units, 2br 2.5 bath townhomes will be \$280,000 based on current market conditions and value\*. Price will move with real estate market freely and future sales in future phases will move accordingly.
- b. Developer will contribute \$15,000 toward buyers down payment.
- c. Initial purchase must be direct from Developer without additional RE fees.

**\*Value and subsequent sale prices shall be determined either by an independent appraisal performed within 1 year of proposed conveyance or the sale price of any similar unit within the Angelview development within 1 year of proposed conveyance at Seller's discretion.**

2. Management: Developer will manage terms of ownership and disposition for up to two years after which the City agrees to assume responsibility and liability. This includes confirmation of qualifications and oversight of conveyances and reasonable reporting to City.

3. Qualifying Buyers: Buyers may be either of the following: \*

- A. Legal residents of Chaffee County or living within 30 miles radius of Salida for the 12 months prior to application to be a Qualified Buyer and earning at or below 120% of AMI at the time of approval.
- B. Full Time Employee of HRRMC, City of Salida, Poncha Springs or Buena Vista, Chaffee County or DOC and earning at or below 120% of AMI.

\*It shall be the goal, though not the mandate of the Manager/Housing Authority to see that an equal number of owners come from groups 3A and 3B above. If buyer qualifying under section 3B is not under contract for purchase within 75 days of initial sale offering as evidenced by any verbal or written offer to sell then the unit shall be opened to sale by any buyer from section 3A or 3B. This may produce a circumstance where no City/County/Hospital employee owns a deed restricted unit. Upon next sale offering Manager will again attempt to maintain equal number of owners from 3A and 3B.



4. This Deed Restriction shall run with the land in perpetuity except that the City of Salida shall retain the right to cancel this deed restriction or modify it with Developer approval. If deed restriction is cancelled, then \$15,000 plus any unclaimed appreciation shall be returned to Developer upon next conveyance of subject property.
5. Appreciation: Owners shall be entitled to 40% of net appreciation at time of sale. Buyer will be credited with remainder of equity starting from the last sale basis as shown in attached example.
6. Deed restricted units must be owner-occupied. If it is confirmed that said unit is being rented in its entirety then owner will sacrifice potential appreciation and be compelled offer unit for sale within 60 days of verification that unit is rented.

**Initial and subsequent sales are illustrated on Exhibit A attached here.**



# Exhibit A

## Angelview Townhomes - Conveyance Formula for Deed Restricted Units

### Example of 2nd Sale:

Sale Price	\$ 310,000.00	New market rate sale
Seller Basis	\$ 280,000.00	Prior purchase price
Cost of Sale	\$ 3,500.00	Legal, closing costs, fees, commission (if any)
Net Appreciation	\$ 26,500.00	
Seller Credit	\$ 10,600.00	40% of net appreciation
Buyer Credit	\$ 15,900.00	60% of net appreciation
Buyer equity	\$ 30,900.00	

### Example of 3rd Sale:

Sale Price	\$ 335,000.00	Market rate sale
Seller Basis	\$ 310,000.00	Prior purchase price
Cost of Sale	\$ 3,500.00	Legal, closing costs, fees, commission (if any)
Net Appreciation	\$ 21,500.00	
Seller Credit	\$ 8,600.00	40% of net appreciation
Buyer Credit	\$ 12,900.00	60% of net appreciation
Buyer equity	\$ 27,900.00	

In the case of the 2nd sale the seller realizes a \$10,600 real gain but the initial \$15,000 contribution stays with the property as does the 60% of appreciation for the next buyer.

In the case of the 3rd sale the seller realizes a \$8,600 real gain but the initial \$15,000 contribution and prior \$15,900 buyer equity stays with the property so total buyer equity is now \$27,900 which offers strong support for financing to the next lender.





October 23, 2017

To Whom It May Concern

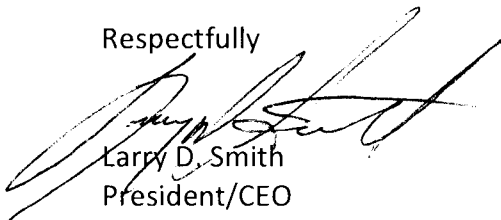
The developers of the Angelview Development, Harder-Diesslin Development, requested that I provide an explanation of the difference in financing of condominiums and townhomes, and how the townhome designation would be more beneficial to the citizens of Salida seeking workforce housing, a desperate need in the local community.

In terms of financing, particularly new condominium projects, qualifications for first-time home buyers or those in need of workforce housing is more burdensome. Being eligible for secondary market terms, those that are the best offered, takes into account the ownership of the other condominium units in the building. Until 51% of units are owned as primary residences by third parties, not the developer, no applicant would be qualified for financing on the secondary market. This burdens the ability to sell to those in need of workforce housing as a minimum of 20% down is required, and terms are not as favorable for the permanent mortgage. No government programs such as the USDA or low-down payment assistance programs are available for new condominium projects, thus making it more difficult to qualify for the acquisition of the property as the 20% down payment is a minimum requirement.

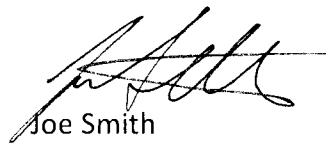
For townhomes, financing is more easily attainable as these properties are treated for financing purposes as regular single family homes with their own real estate, and thus meets the needs of developing workforce housing. There is no minimum ownership requirement for the development in order to obtain secondary market financing, and governmental assistance programs are available that would reduce the required down payment from the 20% minimum to in some instances, a 0% down loan if the requirements are met for USDA financing. The down payment requirement is a major hurdle for those seeking to buy their first home or to establish themselves in the community.

High Country Bank feels that the townhome designation of the Angelview Development is most beneficial in order to meet the desperate need of workforce housing being available on the market in Salida. The financing differences outlined above demonstrate the difficulties and hurdles to overcome for those needing more affordable housing, or down payment assistance, in acquiring a home to remain a part of the workforce in Salida.

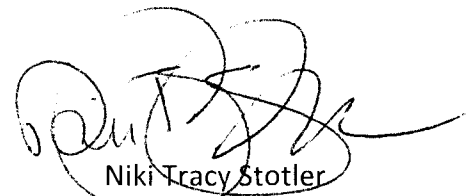
Respectfully



Larry D. Smith  
President/CEO  
High Country Bank



Joe Smith  
VP Commercial Loans  
High Country Bank



Niki Tracy Stotler  
VP Mortgage Loans  
High Country Bank

[www.highcountrybank.net](http://www.highcountrybank.net)

Home Office  
7360 W. Hwy. 50  
Salida, CO 81201  
(719) 539-2516

Salida Branch  
130 West 2nd Street  
Salida, CO 81201  
(719) 539-2516

Buena Vista Branch  
516 Hwy. 24 North  
Buena Vista, CO 81211  
(719) 395-2113

Canon City Branch  
150 N. Reynolds Avenue  
Canon City, CO 81212  
(719) 276-2007





Angel View Townhomes  
 11/7/2017

**Exhibit B**  
 Infrastructure Conceptual Estimate

**Soft Costs**

Civil Engineering	\$ 2,500.00
-------------------	-------------

**Soft Costs**

Site Development

Traffic Control Plan / Permit/Misc	1 LS	\$ 2,000.00	\$ 2,000.00
Extend Sewer Line	700 Lf	\$ 62.00	\$ 43,400.00
Install New Manholes (Rework Exist)	4 EA	\$ 2,800.00	\$ 11,200.00
Install New 8" C900 Water Mains	710 LF	\$ 65.00	\$ 46,150.00
Install Fire Hydrant	1 EA	\$ 4,500.00	\$ 4,500.00
Road Cut & Patch	400 SF	\$ 8.00	\$ 3,200.00
Bike Path Cut & Patch	200 SF	\$ 4.00	\$ 800.00

Total Estimated Cost

Subtotal	\$ 113,750.00
Total	













## PLANNING COMMISSION STAFF REPORT

---

**MEETING DATE:** January 22, 2018

**AGENDA ITEM TITLE:** Amendment to Chapter 16, Land Use Code,  
Section 16.5.60 Highway 50 Corridor Overlay

**AGENDA SECTION:** Public Hearing

### **BACKGROUND:**

During the conceptual review of the Salida Crossings project with City Council on December 4, 2017, concerns were raised about setting a precedent for other height increase requests. Options were discussed that included increasing the height standard for the C-1 district; amending the Comprehensive Plan or creating a new specific area plan for Highway 50. Council decided the latter will be a worthy project as redevelopment will continue to come up along Highway 50.

Staff thought that the existing Highway 50 Corridor Overlay may be a good place to start. The attached draft simply states additional height may be considered through a Planned Development if goals of the comprehensive plan are being met for redevelopment, infill, economic development or affordable housing. Any request would also have to meet the PD requirements that the height will not cause:

- (1) Adverse visual impacts on adjacent sites or other areas in the vicinity, including extreme contrast, interruption of vistas or scale that is disproportionate to surrounding development or natural features.
- (2) Potential problems for adjacent sites caused by shadows, loss of air circulation or loss of view.
- (3) Inability to provide adequate fire protection using equipment currently in use by the Fire Department.

It seemed to staff that regardless of the action taken on the Cozart request, the proposed ordinance shows that no precedent is being set. Every request will be looked at based on its merits: does it implement the Comprehensive Plan and not impact emergency personnel or adjacent properties.

A text amendment should comply with the following standards:

- (1) Consistency With Purposes. The proposed amendment shall be consistent with the purposes of this Chapter.
- (2) No Conflict With Other Provisions. The proposed amendment shall not conflict with any other applicable provisions of this Chapter, or shall repeal or amend provisions of this Chapter which are inconsistent, unreasonable or out-of-date.
- (3) Consistency With Comprehensive Plan. The proposed amendment shall be consistent with the Comprehensive Plan, shall implement a new portion of the Comprehensive Plan or shall



implement portions of the Comprehensive Plan which have proven difficult to achieve under the existing provisions of this Land Use Code.

- (4) Public Health, Safety and Welfare. The proposed amendment shall preserve the public health, safety, general welfare and environment and contribute to the orderly development of the City.

**RECOMMENDED MOTION:**

“I make a motion to recommend the City Council approve the proposed changes to Section 16.5.60 Highway 50 Corridor Overlay”

Attachments:

Proposed Redline Edit

Advertisement



Sec. 16-5-60. - Highway 50 Corridor Overlay (50 CO).

- (a) Purpose. The purpose of the Highway 50 Corridor Overlay (50 CO) is to establish standards for the efficient, well-ordered and safe development of one (1) of the primary entrances to the City which is also one (1) of its major highways. A combination of landscape and architectural standards and provisions for pedestrian and vehicle access will provide for attractive and functional development while allowing continued commercial growth within this corridor.
- (b) Applicability. The standards of the Highway 50 Corridor Overlay (50 CO) shall apply to parcels which front Highway 50. In no instance shall this Chapter require changes or renovation to existing properties or structures when no development applications are required to be submitted. Interior renovations are not subject to these regulations; however, new construction, a change of use of the property or an expansion of use will be applicable. These regulations shall only be applicable when development is proposed by an applicant.
- (c) Standards. The standards listed below shall apply to development in the Highway 50 Corridor Overlay (50 CO). These standards shall be in addition to those of the underlying zone district in which the property is located and in addition to the other applicable standards of this Chapter. No building or other development permit shall be issued for a structure in the Highway 50 Corridor Overlay (50 CO) absent compliance of the structure with the following standards:
  - (1) Access.
    - (i) Vehicular access. Vehicular access to the property shall be obtained using curb cuts which are shared with other properties whenever feasible and provided for with appropriate easements. Curb cuts shall meet the Colorado Department of Transportation's "Highway Access Code." The provisions of Highway 50 Corridor Overlay (50 CO) shall be complied with in addition to, and to the extent not in conflict with, the State Highway Access Code. Any access onto the highway requires approval from the Colorado Department of Transportation.
  - (2) Streetscape and Lighting.
    - (i) Sidewalks. Sidewalks shall be provided within the Highway 50 Corridor Overlay (50 CO). Sidewalks fronting Highway 50 shall be detached sidewalks with a width of six (6) feet. The parkway located between the curb or travel lane and the sidewalk shall be four (4) feet wide. A sidewalk design may be modified, with approval from the Administrator, if attaching to an existing sidewalk that does not meet this standard or if the existing site development is such that the standard sidewalk and parkway width requirements would adversely affect existing required parking or would not fit between the road edge and front of an existing building. When extraordinary conditions prohibit the installation of the sidewalk, a fee-in-lieu may be allowed. Installation of improvements within the Colorado Department of Transportation's right-of-way requires approval via a Utilities/Special Use permit from the Colorado Department of Transportation.
    - (ii) Parkway. The parkway located between the curb or travel lane and the sidewalk shall be four (4) feet in width. The parkway shall be stamped, colored concrete as proposed in the Highway Corridor Improvement Plan or as approved by the Public Works Director.
    - (iii) Lighting. Streetlights shall be installed in the parkway. The streetlights shall meet the model and specifications identified in the Highway Corridor Improvement Plan. Approximate streetlight locations are shown in the Highway Corridor Improvement Plan. Exact locations will be subject to the approval of the Public Works Director.
- (3) Building Setbacks. To create a consistent image throughout the corridor, new construction should be developed in a manner that complements the historic pattern of buildings being located close to the highway.
- (4) Landscaping Standards. The minimum landscape area applicable to any property in the Highway 50 Corridor Overlay (50 CO) shall be that required in the underlying zone district. At a



minimum, this landscaping shall be located along the road frontages identified herein and shall also be located within and around the parking areas, as described in Section 16-8-90 below.

- (i) Highway frontage buffer. There shall be an average of one (1) tree planted per thirty (30) feet of the property's highway frontage adjacent to the highway. These trees shall be planted on the subject property, along the property's frontage adjacent to the highway, and may be clustered.
  - (ii) Side road buffer. If the subject property is a corner lot, there shall also be an average of one (1) tree planted per forty (40) feet of the property's side road frontage. These trees shall be planted in a minimum four-foot-wide landscape strip along either side of the pedestrian path. These trees shall be planted on the subject property, along the property's frontage adjacent to the side road and may be clustered.
- (5) Storage Areas. Storage areas shall be visually screened from pedestrian paths and the highway, using a fence, wall, trees or large shrubs. Storage areas include, but are not limited to, outside storage areas, open areas where machinery or heavy equipment is parked, loading docks and trash receptacles.
- (6) Architectural Standards.
- (i) Materials. With new construction, including an addition, two (2) or more materials must be used for exterior materials excluding roofing and structural materials. Exposed tilt-up concrete is prohibited and metal shall not exceed twenty-five percent (25%) of the surface area of exterior materials excluding roofs.
  - (ii) Façade treatment. Long, blank walls must be avoided. The principal materials used on building façades should be wood (including siding), stone, brick or stucco. The façades of buildings must be broken up by the use of different materials or architectural treatments.
  - (iii) Fenestration. A minimum of twenty percent (20%) of the front façade of a building which houses a principal use on the parcel shall be glass. When a building containing a principal use is completely screened from the view from the highway, the structure shall be exempt from the fenestration requirement.
- (iv) Building Height. Additional height may be considered through the Planned Development process if it results in achieving one or more goals of the Comprehensive Plan regarding infill development, redevelopment, economic development or the provision of affordable housing. Approval of the additional height must meet the criteria contained in Section 16-7-40(8).
- (7) Other Standards. Other standards throughout this Chapter may apply to a particular development. Additional standards include Use and Dimensional Standards, Off-Street Parking Standards, Landscaping and Illumination Standards, Sign Standards and Improvement Standards. The Administrator can assist with any questions as to the applicability of a particular standard.

(Ord. No. [2014-05](#), 5-6-2014)

Formatted: Underline, Font color: Red

Formatted: Normal, Indent: Left: 0.56", Hanging: 0.31"



**PUBLIC NOTICE**

NOTICE OF PUBLIC HEARING BEFORE  
THE PLANNING COMMISSION FOR  
THE CITY OF SALIDA CONCERNING A  
PROPOSED AMENDMENT TO CHAPTER  
16 LAND USE AND DEVELOPMENT OF THE  
SALIDA MUNICIPAL CODE

**TO ALL MEMBERS OF THE PUBLIC  
AND INTERESTED PERSONS: PLEASE  
TAKE NOTICE** that on January 22, 2018,  
at or about the hour of 6:00 p.m., a public  
hearing will be conducted by the City of  
Salida Planning Commission at City  
Council Chambers, 448 East First Street,  
Suite 190, Salida, Colorado on a proposed  
amendment to Section 16.5.60 Highway 50  
Corridor Overlay to add new paragraph (6)  
(iv) to add a process and criteria for which  
additional building height may be requested  
for properties within the corridor adjacent to  
Highway 50.

Any recommendation by the Planning  
Commission for the Planned Development  
shall be forwarded to the City Council for  
review and public hearing.

Interested persons are encouraged to attend  
the public hearing. Further information on  
the application may be obtained from the  
Community Development Department, (719)  
530-2631.

Published in The Mountain Mail January 5,  
2018